

CITY OF SAN ANTONIO

Zoning Commission Agenda

Cliff Morton Development and Business Services Center
1901 S. Alamo Street
Board Room

Tuesday, April 5, 2011
12:45 PM

ZONING COMMISSIONERS

Mariana Ornelas – District 1	Christopher Martinez – District 6
Bennie Cole – District 2	David Christian – District 7
Andrew Anguiano – District 3	Frederick McNealy – District 9
Jim Myers – District 4	Milton R. McFarland – District 10
Vacant – District 5	Brenna Nava– District Mayor
Billy J. Tiller – District 8 Chairman	

1. **12:45 PM** - Work Session - discussion of policies and administrative procedures and any items for consideration on the agenda for April 5, 2011.
2. **1:00 P.M.** Board Room– Call to Order.
3. Roll Call.
4. Pledge of Allegiance.
5. Approval of March 1, 2011 and March 15, 2011 Zoning Commission Minutes.
6. **ZONING CASE NUMBER Z2010156 CD:** A request for a change in zoning from “R-6 AHOD” Residential Single-Family Airport Hazard Overlay District to “R-6 CD AHOD” Residential Single-Family Airport Hazard Overlay District with a Conditional Use for a Professional Office on Parcel 100, Parcel 126 and Parcel 126A, NCB 17365 (2.8030 acres), 4144 Jung Road. (Council District 10)
7. **ZONING CASE NUMBER Z2011069 CD:** A request for a change in zoning from “R-4 AHOD” Residential Single-Family Airport Hazard Overlay District to “R-4 CD AHOD” Residential Single-Family Airport Hazard Overlay District with a Conditional Use for a Professional Office on the north 132.5 feet of Lot 16, Block 62, NCB 7217, 923 Fresno. (Council District 1)
8. **ZONING CASE NUMBER Z2011020:** A request for a change in zoning from “NP-10 AHOD” Neighborhood Preservation Airport Hazard Overlay District and “C-2 AHOD” Commercial Airport Hazard Overlay District to “C-3 AHOD” General Commercial Airport Hazard Overlay District on a portion of Tract 17 (also known as Arb 17A, 17B, and 17C), NCB 17994, 7388, 7390 and 7392 IH 10 East. (Council District 2)
9. **ZONING CASE NUMBER Z2011074:** A request for a change in zoning from “MF-33 AHOD” Multi-Family Airport Hazard Overlay District to “C-2NA AHOD” Commercial Nonalcoholic Sales Airport Hazard Overlay District on Lot 28, Lot 29, Lot 30, Lot 31 and Lot 32, Block 16, NCB 7522, 4040 Culebra Road. (Council District 7)

10. **ZONING CASE NUMBER Z2011075:** A request for a change in zoning from “R-6 AHOD” Residential Single-Family Airport Hazard Overlay District to “MF-18 AHOD” Limited Density Multi-Family Airport Hazard Overlay District on Lot 29, Block 65, NCB 15859, 906 Rolling Rock. (Council District 4)
11. **ZONING CASE NUMBER Z2011078:** A request for a change in zoning from “I-1 AHOD” General Industrial Airport Hazard Overlay District to “C-3R AHOD” General Commercial Restrictive Alcoholic Sales Airport Hazard Overlay District on Lot 3, Block 50, NCB 15329, 306 Richland Hills Drive. (Council District 6)
12. **ZONING CASE NUMBER Z2011076:** A request for a change in zoning from “C-2 AHOD” Commercial Airport Hazard Overlay District, “C-2NA AHOD RIO-5” Commercial Non-Alcoholic Sales Airport Hazard Overlay River Improvement Overlay District-5, “C-2 AHOD RIO-6” Commercial Airport Hazard Overlay River Improvement Overlay District-6, “C-3 AHOD” General Commercial Airport Hazard Overlay District, “C-3 H AHOD” General Commercial Mission Historic Airport Hazard Overlay District, “C-3 H AHOD RIO-5” General Commercial Mission Historic Airport Hazard Overlay River Improvement Overlay District-5, “C-3 H AHOD RIO-6” General Commercial Mission Historic Airport Hazard Overlay River Improvement Overlay District-6, “C-3NA AHOD” General Commercial Non-Alcoholic Sales Airport Hazard Overlay District, “C-3NA H AHOD” General Commercial Non-Alcoholic Sales Mission Historic Airport Hazard Overlay District, “C-3NA H AHOD RIO-6” General Commercial Non-Alcoholic Sales Mission Historic Airport Hazard Overlay River Improvement Overlay District-6, “C-3 R AHOD” Restrictive Commercial Airport Hazard Overlay District, “C-3 AHOD RIO-5” General Commercial Airport Hazard Overlay River Improvement Overlay District-5, “C-3 AHOD RIO-6” General Commercial Airport Hazard Overlay River Improvement Overlay District-6, “I-1 AHOD” General Industrial Airport Hazard Overlay District, “I-1 H AHOD” General Industrial Mission Historic Airport Hazard Overlay District, “I-1 H AHOD RIO-5” General Industrial Mission Historic Airport Hazard Overlay River Improvement Overlay District-5, “I-1 H AHOD RIO-6” General Industrial Mission Historic Airport Hazard Overlay River Improvement Overlay District-6, “I-1 HS AHOD” Historic Significant General Industrial Airport Hazard Overlay District, “I-1 AHOD RIO-5” General Industrial Airport Hazard Overlay River Improvement Overlay District-5, “I-1 AHOD RIO-6” General Industrial Airport Hazard Overlay River Improvement Overlay District-6, “I-2 AHOD RIO-5” Heavy Industrial Airport Hazard Overlay River Improvement Overlay District-5, “I-2 H AHOD RIO-6” Heavy Industrial Mission Historic Airport Hazard Overlay River Improvement Overlay District-6, “MF-25 AHOD” Low Density Multi-family Airport Hazard Overlay District, “MF-33 AHOD” Multi-family Airport Hazard Overlay District, “MF-33 AHOD RIO-5” Multi-family Airport Hazard Overlay River Improvement Overlay District-5, “NP-10 H AHOD” Neighborhood Preservation Mission Historic Airport Hazard Overlay District, “R-4 AHOD” Residential Single Family Airport Hazard Overlay District, “RM-4 AHOD” Residential Mixed Airport Hazard Overlay District, and “RM-4 H AHOD” Residential Mixed Mission Historic Airport Hazard Overlay to “BP H AHOD RIO-6” Business Park Mission Historic Airport Hazard Overlay River Improvement Overlay District-6, “BP AHOD RIO-5” Business Park Airport Hazard Overlay River Improvement Overlay District-5, “C-1 AHOD” Light Commercial Airport Hazard Overlay District, “C-1 H AHOD” Light Commercial Mission Historic Airport Hazard Overlay District, “C-1 H AHOD RIO-6” Light Commercial Mission Historic Airport Hazard Overlay River Improvement Overlay District-6, “C-1 AHOD RIO-5” Light Commercial Airport Hazard Overlay River Improvement Overlay District-5, “C-2 H AHOD” Commercial Mission Historic Airport Hazard Overlay District, “C-2 H AHOD RIO-6” Commercial Mission Historic Airport Hazard Overlay River Improvement Overlay District-6, “C-2 AHOD RIO-5” Commercial Airport Hazard Overlay River Improvement Overlay District-5, “C-2 AHOD RIO-6” Commercial Airport Hazard Overlay River Improvement Overlay District-6, “C-3 H AHOD RIO-5” General Commercial Mission Historic Airport Hazard Overlay River Improvement Overlay District-5, “IDZ AHOD” Infill Development Zone Airport Hazard Overlay District with uses permitted in “C-1” Light Commercial District and “RM-4” Residential Mixed District, “IDZ HL AHOD” Historic Landmark Infill Development Zone Airport Hazard Overlay District with uses permitted in “C-1” Light Commercial District and “RM-4” Residential Mixed District, “MF-18 AHOD” Limited Density Multi-family Airport

Hazard Overlay District, “MF-25 AHOD RIO-6” Low Density Multi-family Airport Hazard Overlay River Improvement Overlay District-6, “MF-33 H AHOD RIO-5” Multi-family Mission Historic Airport Hazard Overlay River Improvement Overlay District-5, “NP-10 H AHOD” Neighborhood Preservation Mission Historic Airport Hazard Overlay District, “R-4 AHOD” Residential Single-family Airport Hazard Overlay District, “R-4 RIO-5 AHOD” Residential Single-family Airport Hazard Overlay River Improvement Overlay District-5, “R-6 AHOD” Residential Single-family Airport Hazard Overlay District, “R-6 H AHOD RIO-6” Residential Single-family Mission Historic Airport Hazard Overlay River Improvement Overlay District-6, “RM-4 H AHOD” Residential Mixed Mission Historic Airport Hazard Overlay, and “RM-4 AHOD RIO-5” Residential Mixed Airport Hazard Overlay River Improvement Overlay District-5 on Property generally located within 200 feet of the centerline of South Presa Street between IH-10 and Southeast Military and within 300 feet of the centerline of South Presa Street between Southeast Military and Loop 410 and remaining portions of said property located outside of said distance from South Presa Street. (Council District 3)

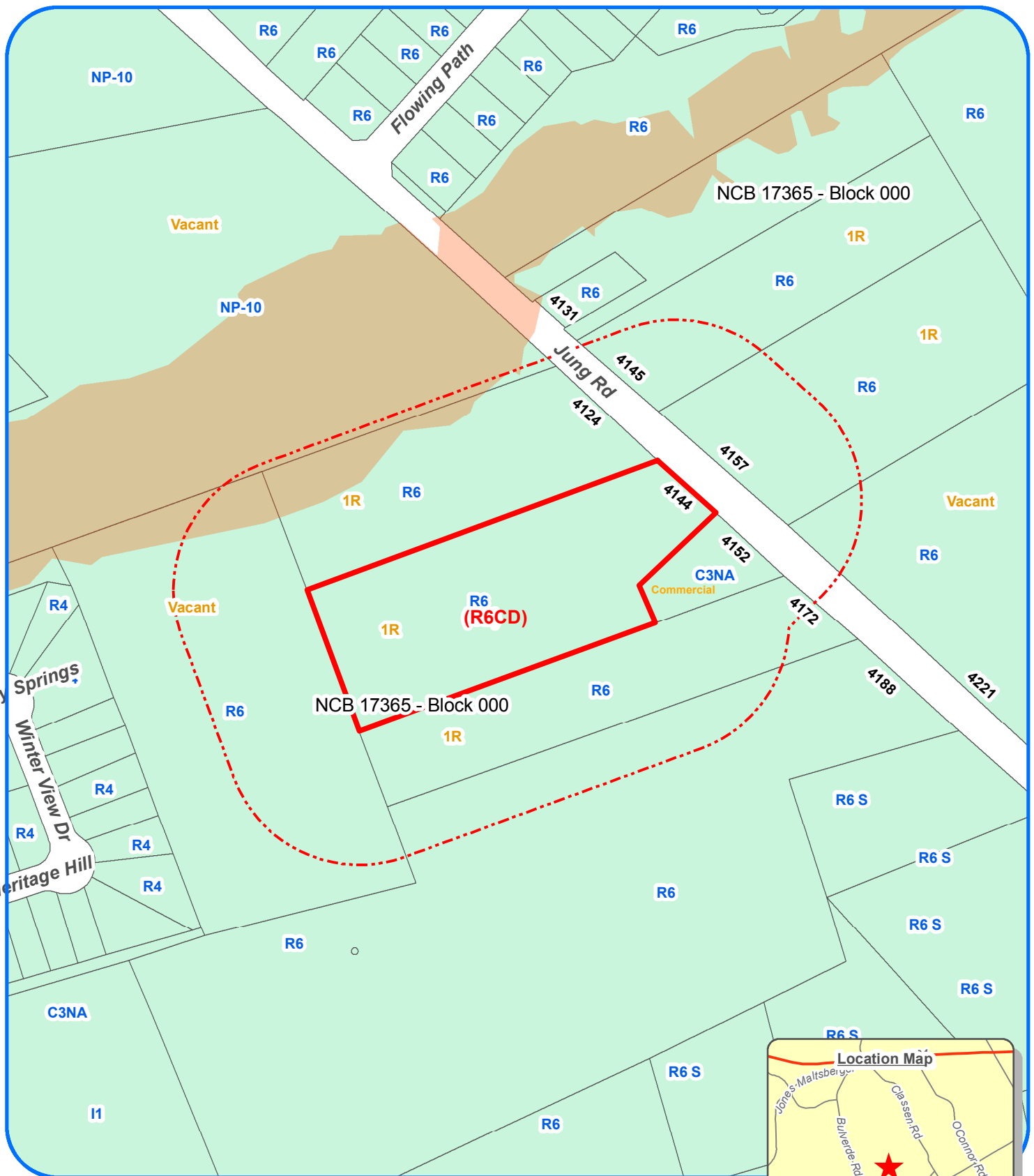
13. **ZONING CASE NUMBER Z2011077:** A request for a change in zoning from multiple zoning districts to adding the “MC-2” South Presa Metropolitan Overlay District to existing base and overlay zoning districts on property located within 200 feet of the centerline of South Presa Street between IH-10 and Southeast Military and within 300 feet of the centerline of South Presa Street between Southeast Military and Loop 410. (Council District 3)
14. **ZONING CASE NUMBER Z2011079:** A request for a change in zoning from “C-2NA AHOD” Commercial Nonalcoholic Sales Airport Hazard Overlay Airport Hazard Overlay District to “C-2 AHOD” Commercial Airport Hazard Overlay Airport Hazard Overlay District on Lot 28, Block 2, NCB 12572, 1039 N. E. Loop 410. (Council District 10)
15. **ZONING CASE NUMBER Z2011080:** A request for a change in zoning from “R-6 AHOD” Residential Single-Family Airport Hazard Overlay District to “MF-18 AHOD” Limited Density Multi-Family Airport Hazard Overlay District on P-46, NCB 11166, 12150 South US Highway 281. (Council District 3)
16. **ZONING CASE NUMBER Z2011081:** A request for a change in zoning from “NP-10 AHOD” Neighborhood Preservation Airport Hazard Overlay District and “R-6 AHOD” Residential Single Family Airport Hazard Overlay District to “R-5 AHOD” Residential Single Family Airport Hazard Overlay District on Parcels 2B, 2C, 2D, 3, 3B, 4, 42, 42C and 43A, NCB 11166, 12100 and 12200 South US Highway 281. (Council District 3)
17. **ZONING CASE NUMBER Z2011082 S:** A request for a change in zoning from “MF-33 AHOD” Multi Family Airport Hazard Overlay District to “NC AHOD IDZ S” Neighborhood Commercial Airport Hazard Overlay Infill Development Zone District with a Specific Use Authorization for a Caretaker's Facility on Lot 20, NCB 6881, 201 Brady Boulevard. (Council District 5)
18. **ZONING CASE NUMBER Z2011083:** A request for a change in zoning from “R-4” Residential Single Family District to “RM-4” Residential Mixed District on Lot 2, Block 21, NCB 1552, 415 Hampton Street. (Council District 2)
19. **ZONING CASE NUMBER Z2011084:** A request for a change in zoning from “R-4” Residential Single Family District to “RM-4” Residential Mixed District on Lot 6, Block 26, NCB 10327, 1620 Peck Avenue. (Council District 2)
20. **ZONING CASE NUMBER Z2011085:** A request for a change in zoning from “R-4 AHOD” Residential Single Family Airport Hazard Overlay District to “RM-6 AHOD” Residential Mixed Airport Hazard Overlay District on Lot 4, Block 14, NCB 8385, 924 John Page Drive. (Council District 7)

21. **ZONING CASE NUMBER Z2011086 CD:** A request for a change in zoning from “C-1 CD AHOD” Light Commercial Airport Hazard Overlay District with a Conditional Use for a Laboratory - Testing Facility to “C-2NA CD AHOD” Commercial Nonalcoholic Sales Airport Hazard Overlay District with a Conditional Use for a Laboratory - Testing Facility on 2.422 acres out of NCB 17306, 3330 Oakwell Court. (Council District 10)
22. **ZONING CASE NUMBER Z2011088 CD S:** A request for a change in zoning from “I-1 AHOD” General Industrial Airport Hazard Overlay District, “C-3R AHOD” General Commercial Restrictive Alcohol Sales Airport Hazard Overlay District, “C-3R GC-2 AHOD” General Commercial Restrictive Alcohol Sales Highway 151 Gateway Corridor Overlay Airport Hazard Overlay District, “C-3NA AHOD” General Commercial Nonalcoholic Sales Airport Hazard Overlay District, “C-3R S AHOD” General Commercial Restrictive Alcohol Sales Airport Hazard Overlay District with a Specific Use Authorization for a Communications Transmission Tower, “C-2 AHOD” Commercial Airport Hazard Overlay District, “O-2 CD AHOD” High-Rise Office Airport Hazard Overlay District with a Conditional use for a Shoe Repair Shop, “MF-33 AHOD” Multi-Family Airport Hazard Overlay District, “R-6 AHOD” Residential Single-Family Airport Hazard Overlay District, “R-4 AHOD” Residential Single-Family Airport Hazard Overlay District and “R-4 GC-2 AHOD” Residential Single-Family Highway 151 Gateway Corridor Overlay Airport Hazard Overlay District to “C-2NA AHOD” Commercial Nonalcoholic Sales Airport Hazard Overlay District, “C-2NA GC-2 AHOD” Commercial Nonalcoholic Sales Highway 151 Gateway Corridor Overlay District, “C-2NA S AHOD” Commercial Nonalcoholic Sales Airport Hazard Overlay District with a Specific Use Authorization for Housing - Hotel, “C-2NA CD AHOD” Commercial Nonalcoholic Sales Airport Hazard Overlay District with a Conditional Use for Auto and Light Truck Repair, “C-2NA CD AHOD” Commercial Nonalcoholic Sales Airport Hazard Overlay District with a Conditional Use for Motor Vehicle Sales, “C-2NA CD GC-2 AHOD” Commercial Nonalcoholic Sales Highway 151 Gateway Corridor Overlay Airport Hazard Overlay District with a Conditional Use for Motor Vehicle Sales, “C-2NA CD AHOD” Commercial Nonalcoholic Sales Airport Hazard Overlay District with a Conditional Use for a Pawn Shop, “C-2NA CD AHOD” Commercial Nonalcoholic Sales Airport Hazard Overlay District with a Conditional Use for Parking and/or Storage - Long Term, “C-2NA CD AHOD” Commercial Nonalcoholic Sales Airport Hazard Overlay District with a Conditional Use for a Tattoo Parlor, “C-2NA S AHOD” Commercial Nonalcoholic Sales Airport Hazard Overlay District with a Specific Use Authorization for a Wireless Communication System, “C-2NA S AHOD” Commercial Nonalcoholic Sales Airport Hazard Overlay District with a Specific Use Authorization for a Car Wash, “C-2NA S AHOD” Commercial Nonalcoholic Sales Airport Hazard Overlay District with a Specific Use Authorization for Telephone Equipment Infrastructure, “C-1 AHOD” Light Commercial Airport Hazard Overlay District, “C-1 CD AHOD” Light Commercial Airport Hazard Overlay District with a Conditional Use for Auto and Light Truck Repair, “C-1 CD GC-2 AHOD” Light Commercial Highway 151 Gateway Corridor Overlay Airport Hazard Overlay District with a Conditional Use for Auto and Light Truck Repair, “C-1 CD AHOD” Light Commercial Airport Hazard Overlay District with a Conditional Use for a Billiard or Pool Hall, “C-1 S AHOD” Light Commercial Airport Hazard Overlay District with a Specific Use Authorization for Parking, “NC AHOD” Neighborhood Commercial Airport Hazard Overlay District, “O-1 AHOD” Office Airport Hazard Overlay District, “MF-33 AHOD” Multi-Family Airport Hazard Overlay District, “R-6 AHOD” Residential Single-Family Airport Hazard Overlay District, “R-4 CD AHOD” Residential Single-Family Airport Hazard Overlay District with a Conditional Use for Shoe - Repair, “R-4 GC-2 AHOD” Residential Single-Family Highway 151 Gateway Corridor Overlay Airport Hazard Overlay District and “R-4 AHOD” Residential Single-Family Airport Hazard Overlay District on multiple properties generally located along Old Highway 90, bound by Acme Road to the west and South San Joaquin to the east; properties located along the south side of West Commerce Street, bound by NW 36th Street to the west and South San Augustine to the east; properties located on the east side of Acme Road, bound by Old Highway 90 to the north and Ardmore Street to the south.
(Council District 6)

23. **Executive Session:** consultation on attorney-client matters (real estate, litigation, personnel and security matters) as well as any of the above agenda items may be discussed.
24. **ADJOURNMENT.**

Accessibility Statement

This meeting is wheelchair accessible. Accessible entrances are located at the front and side of the building at 1901 South Alamo Street. Accessible parking spaces are located at the front and rear of the building. **Auxiliary Aids and Services are available upon request (Interpreters for the Deaf must be requested forty-eight [48] hours prior to the meeting).** For Assistance, Call (210) 207-7245 Voice/TTY.



Zoning Case Notification Plan

Case Z-2010-156 CD

Council District 10

Scale: 1" approx. = 200 Feet

Subject Property Legal Description(s): NCB 17365 - Block 000 - Parcels P-100 (2.074), P-126 (.229), and P-126A (.500)

Legend

- Subject Property (2.803 Acres)
- 200' Notification Area
- Current Zoning
- Requested Zoning Change
- 100-Year DFIRM Floodplain
- Single Family Residential
- 1R



Planning & Development Services Dept
City of San Antonio
(09/15/2010 - E Hart)

Note: All Current and Requested Zoning includes AHOD Zoning (Airport Hazard Overlay District).



City of San Antonio

Development Services Department

Staff Report

To: Zoning Commission

Zoning Case #: Z2010156 CD

Hearing Date: March 15, 2011

Property Owner: Veronica Montelongo

Applicant: Brown & Ortiz, P. C.

Representative: Brown & Ortiz, P. C.

Location: 4144 Jung Road

Legal Description: Parcel 100, Parcel 126 and Parcel 126A, NCB 17365 (2.8030 acres)

Total Acreage: 2.803

City Council District: 10

Case Manager: Pedro Vega, Planner

Case History: This is the second public hearing for this zoning request. Continunance (Applicant's Request) from March 15, 2011

Proposed Zoning Change

Current Zoning: "R-6 AHOD" Residential Single-Family Airport Hazard Overlay District.

Requested Zoning: "R-6 CD AHOD" Residential Single-Family Airport Hazard Overlay District with a Conditional Use for a Professional Office.

Procedural Requirements

The request was publicly noticed in accordance with Section 403 of the Unified Development Code (UDC). Notices were sent to property owners and registered neighborhood associations within two hundred (200) feet of the subject property on March 2, 2011. The application was published in The Daily Commercial Recorder, an official newspaper of general circulation on February 24, 2011. Additionally, notice of this meeting was posted at city hall and on the city's internet website on March 11, 2011, in accordance with Section 551.043(a) of the Texas Government Code.

Notices Mailed

Owners of Property within 200 feet: 9

Neighborhood Associations: None

Planning Team Members: 54 (San Antonio International Airport Vicinity Plan) 42 (North Sector Plan)

Applicable Agencies: None

Adjacent Zoning and Land Uses

Direction	Current Base Zoning	Current Land Uses
Northeast	"C-3NA AHOD"	Commercial Use
Southeast	"R-6 AHOD"	Single-Family Dwelling
Northwest	"R-6 AHOD"	Single-Family Dwelling
Southwest	"R-6 AHOD"	Vacant

Overlay and Special District Information: All surrounding properties carry the "AHOD" Airport Hazard Overlay District, due to their proximity to an airport or approach path. The "AHOD" does not restrict permitted uses, but can require additional review of construction plans by both the Development Services Department and the Federal Aviation Administration.

Transportation

Thoroughfare	Existing Character	Proposed Changes
Jung Road	Collector street one lane in each direction	None

Public Transit: The VIA number 641 bus line operates along Jung Road.

Traffic Impact: A Traffic Impact Analysis (TIA) is not required because traffic generated by the proposed development does not exceed the threshold requirements.

Parking Information: Minimum Parking Requirement: 1 per 300sf GFA. Maximum Parking Requirement: 1 per 140sf GFA.

Staff Analysis and Recommendation: Approval.

Topography: The subject property is relatively flat and has no physical characteristics that are likely to affect the use.

Property History: The subject property was annexed in December of 1995 and totals approximately 2.803 acres. The property was zoned Temporary "R-1" Single Family Residence District upon annexation. In August of 1997, the 2.803 acre site was part of a large-area rezoning and was granted a zoning change from Temporary "R-1" Single Family Residence District to "R-1" Single-Family Residence District. Upon adoption of the 2001 Unified Development Code, the existing "R-6 AHOD" Residential Single-Family Airport Hazard Overlay District zoning converted from the previous "R-1" Single-Family Residence District. Surrounding zoning includes "C-3NA AHOD" General Commercial Nonalcoholic Sales Airport Hazard Overlay District to the southeast and "R-6 AHOD" Residential Single-Family Airport Hazard Overlay District southeast, southwest, northwest and across Jung Road to the northeast.

Criteria for Review: According to Section 35-421, zoning amendments shall be based on the approval criteria below.

1. Consistency:

The subject property is located within the San Antonio International Airport Vicinity Plan. The San Antonio International Airport Vicinity Plan designates the Future Land Use of the subject property as Low-Density Residential. Low-Density Residential includes single-family dwellings and accessory dwelling units on individual lots. Certain non-residential uses, such as schools, places of worship and parks, are appropriate within these areas and should be centrally located to provide easy accessibility. The base zoning district for the 2.803 acre site will remain "R-6 AHOD" Residential Single-Family Airport Hazard Overlay District. Therefore, the requested Conditional Use is consistent with the plan.

2. Adverse Impacts on Neighboring Lands:

The granting of the Conditional Use will not have an adverse impact on the neighborhood. The conditional zoning procedure is designed to provide for a land use within an area that is not permitted by the established zoning district but due to individual site considerations or unique development requirements would be compatible with adjacent land uses under given conditions. The granting of conditional zoning shall not be for all of the uses permitted in a given district but shall be only for the conditional use named in the ordinance (Professional Office) approving the conditional zoning district.

3. Suitability as Presently Zoned:

The base zoning district will remain "R-6 AHOD" Residential Single-Family Airport Hazard Overlay District. The following conditions shall apply to the operation of nonresidential conditional uses permitted within any residential district, unless otherwise approved by the City Council: 1. No exterior display or sign with the exception that a nameplate, not exceeding 3 square feet in area, may be permitted when attached to the front of the main structure. 2. No construction features shall be permitted which would place the structure out of character with the surrounding neighborhood. 3. Business or office hours of operations shall not be permitted before 7 a.m. or after 6 p.m.

4. Health, Safety and Welfare:

Staff has found no indication of likely adverse effects on the public health, safety, or welfare.

5. Public Policy:

The request does not appear to conflict with any established public policy.

6. Size of Tract:

The building is 4,700 square feet in size, which is adequate space for a Professional Office use. The applicant has submitted a site plan in order to comply with the Conditional Use requirements. The adjacent property at 4152 Jung Road is zoned "C-3NA AHOD" Commercial Non-Alcoholic Sales Airport Hazard Overlay District and is also owned by the property owner of the 2.803 acre site.

7. Other Factors:

In addition to being within the The San Antonio International Airport Vicinity Plan, the 2.803 acre site is also located within the North Sector Plan. The North Sector Plan designates the 2.803 acre site as within the Suburban Tier. The Suburban Tier includes residential uses, neighborhood and community commercial uses. Office - Professional. Facilities used primarily for conducting the affairs of a business, profession, service, industry, or government, or like activity, including such activities as providing day-to-day office administrative services, financial management, billing, record keeping, personnel administration and logistics.

DEVELOPER:

THE NUNLEY FIRM
1580 SOUTH MAIN STREET, SUITE 200
SAN ANTONIO, TEXAS 78006
PHONE: (830) 816-3333
FAX: (830) 816.3388
CONTACT: CECIL BAIN

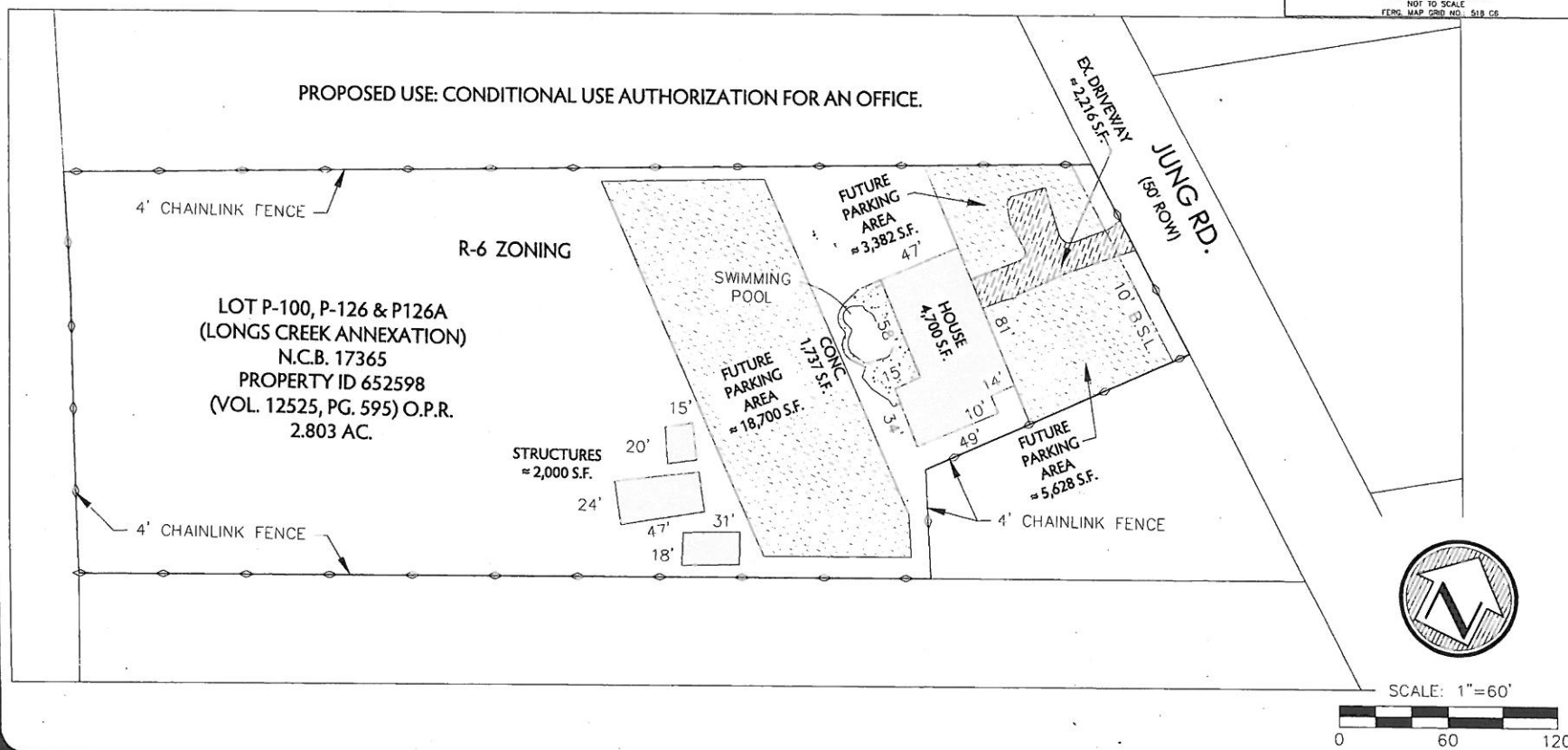
ENGINEER:

M.W. CUDE ENGINEERS, LLC
ATTN: CHRISTOPHER R. DICE, P.E.
10325 BANDERA ROAD
SAN ANTONIO, TEXAS 78250
PHONE: (210) 681-2951
FAX: (210) 523-7112
EMAIL: cdice@mwcu.de.com

I, Veronica Montelongo,

THE PROPERTY OWNER, ACKNOWLEDGE THAT THIS SITE PLAN SUBMITTED FOR THE PURPOSE OF REZONING THIS PROPERTY IS IN ACCORDANCE WITH ALL APPLICABLE PROVISIONS OF THE UNIFIED DEVELOPMENT CODE. ADDITIONALLY, I UNDERSTAND THAT CITY COUNCIL APPROVAL OF A SITE PLAN IN CONJUNCTION WITH A REZONING CASE DOES NOT RELIEVE ME FROM ADHERENCE TO ANY / ALL CITY-ADOPTED CODES AT THE TIME OF PLAN SUBMITTAL FOR BUILDING PERMITS

LOT #	ACREAGE
1	2.803



4144 JUNG ROAD

SITE PLAN EXHIBIT

DATE: 2011-02-10

CUDE ENGINEERS
10325 BANDERA ROAD
SAN ANTONIO, TEXAS 78250
TEL 210.681.2951 • FAX 210.523.7112
WWW.MWCUDE.COM
TYPE REGISTERED ENGINEERING
FIRM #455

CUDE
ENGINEERS

JOB NO. 103771.000



Zoning Case Notification Plan

Case Z2011069 CD

Council District 1

Scale: 1" approx. = 100 Feet

Subject Property Legal Description(s): NCB 07217 - Block 062 - N 132.5 ft of Lot 16

Legend

- Subject Properties (0.152 Acres)
- 200' Notification Area
- Current Zoning **TEXT**
- Requested Zoning Change **(TEXT)**
- 100-Year DFIRM Floodplain
- Single Family Residential **1R**



Development Services Dept
City of San Antonio
(02/24/2011 - E Hart)

Note: All Current and Requested Zoning includes AHOD Zoning (Airport Hazard Overlay District).



City of San Antonio

Development Services Department

Staff Report

To: Zoning Commission

Zoning Case #: Z2011069 CD

Hearing Date: March 15, 2011

Property Owner: Maria H. and Manuel C. Aguirre

Applicant: Jerry Arredondo

Representative: Jerry Arredondo

Location: 923 Fresno

Legal Description: The north 132.5 feet of Lot 16, Block 62, NCB 7217

Total Acreage: 0.1527 of an acre

City Council District: 1

Case Manager: Micah Diaz, Planner

Case History: This is the first public hearing for this zoning request.

Proposed Zoning Change

Current Zoning: "R-4 AHOD" Residential Single-Family Airport Hazard Overlay District

Requested Zoning: "R-4 CD AHOD" Residential Single-Family Airport Hazard Overlay District with a Conditional Use for a Professional Office

Procedural Requirements

The request was publicly noticed in accordance with Section 403 of the Unified Development Code (UDC). The application was published in The Daily Commercial Recorder, an official newspaper of general circulation on February 24, 2011. Notices were sent to property owners and registered neighborhood associations within two hundred (200) feet of the subject property on March 4, 2011. Additionally, notice of this meeting was posted at city hall and on the city's internet website on March 11, 2011, in accordance with Section 551.043(a) of the Texas Government Code.

Notices Mailed

Owners of Property within 200 feet: 30

Neighborhood Associations: Northwest Los Angeles Heights Neighborhood Association

Planning Team Members: 29 - Greater Dellview Area Community Plan

Applicable Agencies: None

Adjacent Zoning and Land Uses

Direction	Current Base Zoning	Current Land Uses
North, west, and south	"R-4" Residential Single-Family District	Single-family residences
East	"R-4 CD" with a Conditional Use for Parking, "C-2" Commercial District, and "C-3" General Commercial District	Parking lot, restaurants, grocery/meat market

Overlay and Special District Information: All surrounding properties carry the "AHOD" Airport Hazard Overlay District, due to their proximity to an airport or approach path. The "AHOD" does not restrict permitted uses, but can require additional review of construction plans by both the Development Services Department and the Federal Aviation Administration.

Transportation

Thoroughfare	Existing Character	Proposed Changes
Fresno	Secondary Arterial; two lanes in each direction; sidewalks on both sides	None known.
Blanco Road	Secondary Arterial; two lanes in each direction; sidewalks on both sides	None known.
Grant Avenue	Local street; two lanes	None known.
Edison Drive	Local street; two lanes	None known.

Public Transit: VIA bus lines 2 and 202 operate along Blanco Road, east of the subject property. VIA bus line 651 operates along Michigan Avenue and Fresno, west of the subject property.

Traffic Impact: A Traffic Impact Analysis (TIA) is not required. The traffic generated by the proposed development does not exceed the threshold requirements.

Parking Information: Parking requirements for offices are determined by the size of the structure.

Minimum parking requirement: 1 space per 300 square feet of gross floor area

Maximum parking requirement: 1 space per 140 square feet of gross floor area

The existing structure measures approximately 932 square feet. The site plan submitted by the applicant shows 4 parking spaces, including one ADA-accessible space and loading area, located behind the principal structure.

Staff Analysis and Recommendation: Approval with conditions

Topography: The property does not include any abnormal physical features such as slope or inclusion in a flood plain.

Property History: The subject property was annexed in 1940 (per Ordinance 1845), and was originally zoned "B" Residence District. Upon adoption of the 2001 Unified Development Code, the previous base zoning district converted to the current "R-4" Residential Single-Family District. The property was originally platted in 1910 (volume 105, page 284). A portion of the originally platted lot was conveyed to the City of San Antonio for the widening of Fresno. According to the Bexar County Appraisal District, the existing residential structure was constructed in 1945.

Criteria for Review: According to Section 35-421, zoning amendments shall be based on the approval criteria below.

1. Consistency:

The subject property is located in the Greater Dellview Area Community Plan, and is designated as "Low-Density Residential" in the Future Land Use component of the plan. Plan consistency is determined by the base zoning district; therefore, no plan amendment is required.

2. Adverse Impacts on Neighboring Lands:

The subject property is surrounded by residential zoning and uses to the north, west, and south. However, Fresno is identified as an arterial thoroughfare in the City's Major Thoroughfare Plan; and, as such, may be suitable for low-intensity commercial uses. The conditional use request allows future residential uses and retains the residential character of the structure.

3. Suitability as Presently Zoned:

The property is suitable for residential uses.

4. Health, Safety and Welfare:

Staff has found no indication of likely adverse effects on the public health, safety, or welfare.

5. Public Policy:

None.

6. Size of Tract:

None.

7. Other Factors:

Should the requested conditional use be approved, the structure will be required to meet commercial building code standards in order to obtain a certificate of occupancy for a non-residential use.

Per Section 35-422 of the Unified Development Code, the following conditions shall apply should the requested conditional use be approved:

- A. There shall be no exterior display or sign with the exception that a nameplate, not exceeding three (3) square feet in area, may be permitted when attached to the front of the main structure.
- B. No construction features shall be permitted which would place the structure out of character with the surrounding residential neighborhood.
- C. Business or office hours of operations shall not be permitted before 7:00 a.m. or after 6:00 p.m.

73011089

10'-0" Alley

Legend

— Traffic Flow

Parking Requirement

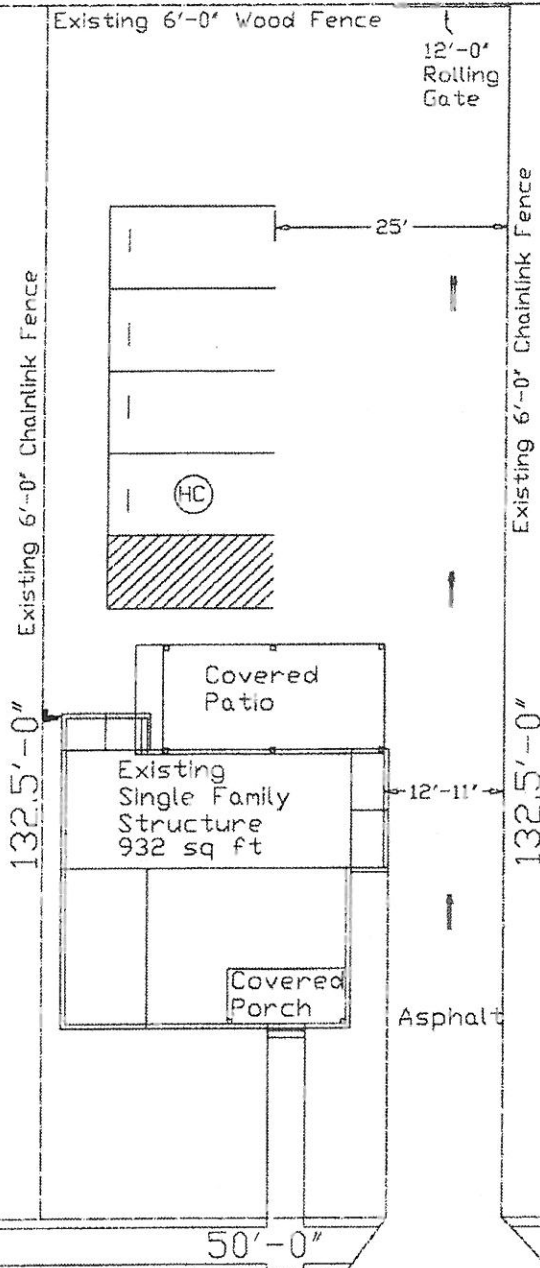
Min. 1 parking space per 300 sq ft of GFA

Max. 1 parking space per 140 sq ft of GFA

Blade	Size	Min.	Max.	Actual
Existing	932 sq ft	4	7	4

Note:
Site Has No Existing Trees
(gfa-gross floor area)

Residential Structure



Burger King

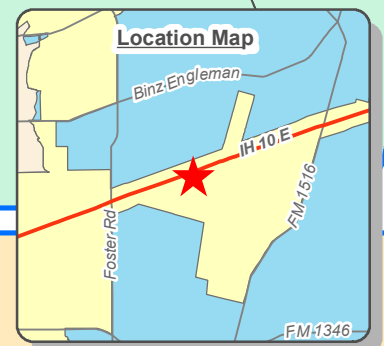
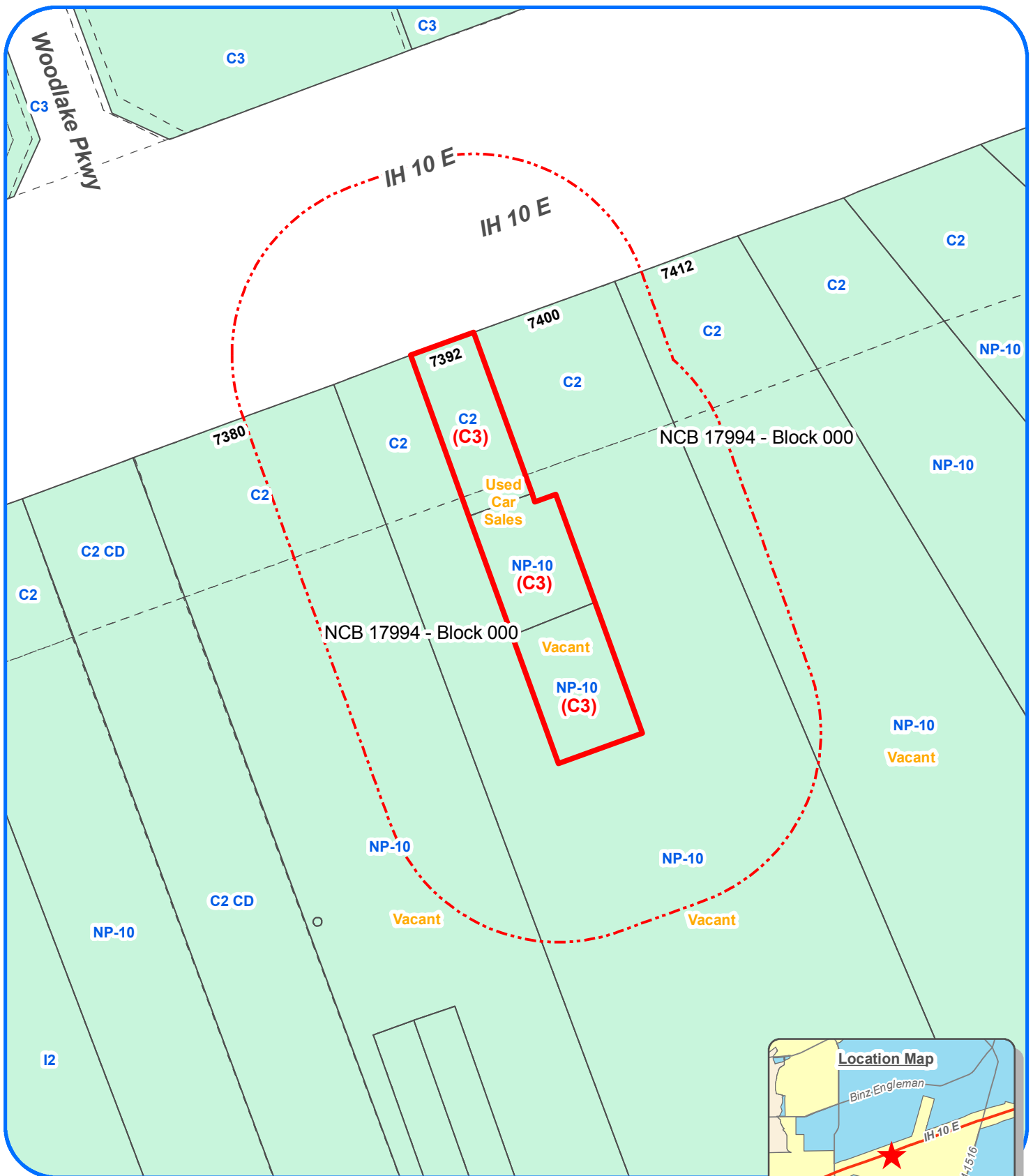
Site Plan
Scale: 1"=20'-0"

Fresno

923 Fresno
San Antonio, Tx 78201
60' RDW (Asphalt Pkmt.)

We, Manuel & Maria Aguirre, the property owners, acknowledge that this site plan submitted for the purpose of rezoning this property is in accordance with all applicable provisions of the Unified Development Code. Additionally, we understand that City Council approval of a site plan in conjunction with a rezoning case does not relieve us from adherence to any/all City-adopted Codes.

NCB 7217 BLK 62 Lot N 132.5 of 16



Zoning Case Notification Plan

Case Z2011020

Council District 2

Scale: 1" approx. = 150 Feet

Subject Property Legal Description(s): NCB 17994 - Block 000 - Portions of Tracts 17A, 17B and 17C

Legend

Subject Properties (1.001 Acres)

200' Notification Area

Current Zoning

Requested Zoning Change

100-Year DFIRM Floodplain

Single Family Residential

TEXT
(TEXT)

1R



Development Services Dept
City of San Antonio
(11/30/2010 - E Hart)

Note: All Current and Requested Zoning includes AHOD Zoning (Airport Hazard Overlay District).



City of San Antonio

Development Services Department

Staff Report

To: Zoning Commission

Zoning Case #: Z2011020

Hearing Date: April 5, 2011

Property Owner: Wichan & Jariya Chaicha

Applicant: Armando Aranda & Andrew C. Guerrero

Representative: Armando Aranda & Andrew C. Guerrero

Location: 7388, 7390 and 7392 IH 10 East

Legal Description: A portion of Tract 17 (also known as Arb 17A, 17B, and 17C), NCB 17994

Total Acreage: 1.001 acres

City Council District: 2

Case Manager: Micah Diaz, Planner

Case History: This is the first public hearing for this zoning case.

Proposed Zoning Change

Current Zoning: "NP-10 AHOD" Neighborhood Preservation Airport Hazard Overlay District and "C-2 AHOD" Commercial Airport Hazard Overlay District

Requested Zoning: "C-3 AHOD" General Commercial Airport Hazard Overlay District

Procedural Requirements

The request was publicly noticed in accordance with Section 403 of the Unified Development Code (UDC). The application was published in The Daily Commercial Recorder, an official newspaper of general circulation on March 17, 2011. Notices were sent to property owners and registered neighborhood associations within two hundred (200) feet of the subject property on March 24, 2011. Additionally, notice of this meeting was posted at city hall and on the city's internet website on April 1, 2011, in accordance with Section 551.043(a) of the Texas Government Code.

Notices Mailed

Owners of Property within 200 feet: 6

Neighborhood Associations: None

Planning Team Members: 32 – IH 10 East Perimeter Plan

Applicable Agencies: None

Adjacent Zoning and Land Uses

Direction	Current Base Zoning	Current Land Uses
East and West	“C-2” Commercial District and “NP-10” Neighborhood Preservation District	Vacant or Undeveloped
South	“NP-10”	Undeveloped
West	“C-2 CD” with a Conditional Use for Warehousing	Warehouse and distribution

Overlay and Special District Information: All surrounding properties carry the "AHOD" Airport Hazard Overlay District, due to their proximity to an airport or approach path. The "AHOD" does not restrict permitted uses, but can require additional review of construction plans by both the Development Services Department and the Federal Aviation Administration.

Transportation

Thoroughfare	Existing Character	Proposed Changes
IH 10 East	Freeway; two-way access road	None known

Public Transit: There are no public transportation lines near the subject property.

Traffic Impact: A Traffic Impact Analysis (TIA) is not required. The traffic generated by the proposed development does not exceed the threshold requirements.

Parking Information: Parking requirements for motor vehicle sales are determined by the size of the sales and service building(s).

Minimum Parking Requirement: 1 space per 500 square feet

Maximum Parking Requirement: 1 space per 375 square feet

Based on the information provided on the TIA worksheet, the existing and proposed building is approximately 4,100 square feet in size; and therefore, will require between 8.2 and 10.9 parking spaces.

Staff Analysis and Recommendation: Staff recommends denial of “C-3 AHOD” General Commercial Airport Hazard Overlay District; with an alternate recommendation of “C-2 CD AHOD” Commercial Airport Hazard Overlay District with a Conditional Use for Motor Vehicle Sales, with conditions.

Topography: The property does not include any abnormal physical features such as slope or inclusion in a flood plain.

Property History: The subject parcels were annexed in 1985 (Ordinance 61632), and were originally zoned “B-2” Business District and “RA” Residence-Agriculture District. Upon adoption of the 2001 Unified Development Code, the previous base zoning districts converted to the current “C-2” Commercial District and “NP-10” Neighborhood Preservation District. According to the Bexar County Appraisal District, the properties include a 2,800 square foot carport/shed (built in 1995) and a 300 square foot office (built in 1997). The subject property is not platted.

Criteria for Review: According to Section 35-421, zoning amendments shall be based on the approval criteria below.

1. Consistency:

The subject property is located within the IH-10 East Perimeter Plan, and is designated for Community Commercial uses in the Future Land Use Plan. The requested “C-3” General Commercial District is not consistent with the future land use designation. The applicant has requested a plan amendment to designate the subject property as Regional Commercial. Planning Commission and staff both recommended denial of the request.

The applicant has indicated that the purpose of the zoning request is to bring the existing vehicle sales lot into compliance. Motor vehicle sales may be approved as a conditional use in the “C-2” Commercial District without requiring an amendment to the IH-10 East Perimeter Plan.

2. Adverse Impacts on Neighboring Lands:

None.

3. Suitability as Presently Zoned:

The subject property and surrounding properties are currently split-zoned, with commercial zoning along the interstate frontage and large-lot single-family residential zoning on the remaining area. This commercial/residential split-zoning is the result of out-dated zoning practices that were once very common, but have negatively impacted development in the area. Additionally, residential development on the subject and surrounding properties is not likely due to the area’s highway frontage and proximity to the Tessman Road Landfill. Staff supports rezoning the subject property to a single commercial zoning district.

4. Health, Safety and Welfare:

Staff has found no indication of likely adverse effects on the public health, safety, or welfare.

5. Public Policy:

None.

6. Size of Tract:

The uses permitted in the “C-3” district are typically considered “regional commercial” uses, and are most appropriately located at the intersections of arterial thoroughfares and expressways, on large-acreage lots in an effort to minimize the impact of increased traffic, noise, and lighting on surrounding properties by ensuring sufficient area to accommodate building setbacks and landscape buffer requirements.

Although the subject property has interstate frontage, it is also very narrow and relatively small compared to the immediate surrounding parcels. The “C-3” district carries minimum 30-foot side setback requirements for new construction when the property abuts residential zoning. These setback requirements would render a large portion of the subject property unsuitable for new construction.

However, the “C-2” district requires only a 10-foot side setback for new construction. Therefore, as currently configured, the subject property is most suitable for “C-2” zoning and community commercial land uses. As the proposed use can be accommodated through approval of a conditional use in the “C-2” district, staff recommends the applicant amend the request.

7. Other Factors:

Should the applicant amend the zoning request to “C-2 CD AHOD” Commercial Airport Hazard Overlay District with a Conditional Use for Motor Vehicle Sales, a site plan would be required. The conditional zoning procedure is designed to provide for a land use within an area that is not permitted by the established zoning district but, due to individual site considerations or unique development requirements, would be compatible with adjacent land uses under given conditions.



Zoning Case Notification Plan

Case Z-2011-074

Council District 6

Scale: 1" approx. = 120 Feet

Subject Property Legal Description(s): NCB 07502 - Block 016 - Lots 28 thru 32

Legend

Subject Properties (0.449 Acres)

200' Notification Area

Current Zoning

Requested Zoning Change

100-Year DFIRM Floodplain

Single Family Residential

1R

TEXT

TEXT



Development Services Dept
City of San Antonio
(03/21/2011 - E Hart)

Note: All Current and Requested Zoning includes AHOD Zoning (Airport Hazard Overlay District).



City of San Antonio

Development Services Department

Staff Report

To: Zoning Commission
Zoning Case #: Z2011074
Hearing Date: April 5, 2011
Property Owner: Jaime R. Hernandez and Yolanda Hernandez
Applicant: Raymundo Villarreal
Representative: Raymundo Villarreal
Location: 4040 Culebra Road
Legal Description: Lot 28, Lot 29, Lot 30, Lot 31 and Lot 32, Block 16, NCB 7522
Total Acreage: 0.449
City Council District: 7
Case Manager: Pedro Vega, Planner
Case History: This is the first public hearing for this zoning request.

Proposed Zoning Change

Current Zoning: "MF-33 AHOD" Multi-Family Airport Hazard Overlay District

Requested Zoning: "C-2 NA AHOD" Commercial Nonalcoholic Sales Airport Hazard Overlay District

Procedural Requirements

The request was publicly noticed in accordance with Section 403 of the Unified Development Code (UDC). Notices were sent to property owners and registered neighborhood associations within two hundred (200) feet of the subject property on March 23, 2011. The application was published in The Daily Commercial Recorder, an official newspaper of general circulation on March 17, 2011. Additionally, notice of this meeting was posted at city hall and on the city's internet website on April 1, 2011, in accordance with Section 551.043(a) of the Texas Government Code.

Notices Mailed

Owners of Property within 200 feet: 36

Neighborhood Associations: Loma Park Neighborhood Associations is within 200 feet.

Planning Team Members: None

Applicable Agencies: None

Adjacent Zoning and Land Uses

Direction	Current Base Zoning	Current Land Uses
West	"MF-33 AHOD"	Single-Family Dwelling
South	"R-6 AHOD"	Single-Family Dwelling
East across Florescia Avenue	"MF-33 AHOD"	Vacant and Single-Family Dwelling
North across Culebra Road	"C-2 AHOD"	Vacant and Single-Family Dwellings

Overlay and Special District Information: All surrounding properties carry the "AHOD" Airport Hazard Overlay District, due to their proximity to an airport or approach path. The "AHOD" does not restrict permitted uses, but can require additional review of construction plans by both the Development Services Department and the Federal Aviation Administration.

Transportation

Thoroughfare	Existing Character	Proposed Changes
Culebra Road	Secondary arterial two lanes in each direction	None
Florescia Avenue	Local street one lane in each direction	None

Public Transit: VIA bus lines 82 and 282 run along Culebra Road, with multiple bus stops in the vicinity of the subject property.

Traffic Impact: A Traffic Impact Analysis (TIA) is not required because traffic generated by the proposed development does not exceed the threshold requirements.

Parking Information: Minimum Parking Requirement: 1 per 300 sf of GFA. Maximum Parking Requirement: 1 per 140 sf of GFA.

Staff Analysis and Recommendation: Approval.

Topography: The subject property is relatively flat and has no physical characteristics that are likely to affect the development.

Property History: The property was annexed in September of 1945. The subject property was originally zoned "C" Apartment District. Upon adoption of the 2001 Unified Development Code, the previous zoning district converted to the current "MF-33 AHOD" Multi Family Airport Hazard Overlay District.

Criteria for Review: According to Section 35-421, zoning amendments shall be based on the approval criteria below.

1. Consistency:

The subject property is not located within a Neighborhood or Community Plan.

2. Adverse Impacts on Neighboring Lands:

The granting of the zoning request will not have an adverse impact on the neighborhood because the development pattern along Culebra Road supports commercial uses. District regulations within the "C-2NA" districts are the same as in "C-2" districts except that no sales of alcoholic beverages for on-premises or off-premises consumption shall be permitted.

3. Suitability as Presently Zoned:

The subject property is not likely to be developed for residential uses. Medium intensity commercial zoning is most appropriate along arterials or major thoroughfares.

4. Health, Safety and Welfare:

Staff has found no indication of likely adverse effects on the public health, safety, or welfare. "C-2" districts permit general commercial activities designed to serve the community. No outdoor storage or display of goods shall be permitted except for outdoor dining.

5. Public Policy:

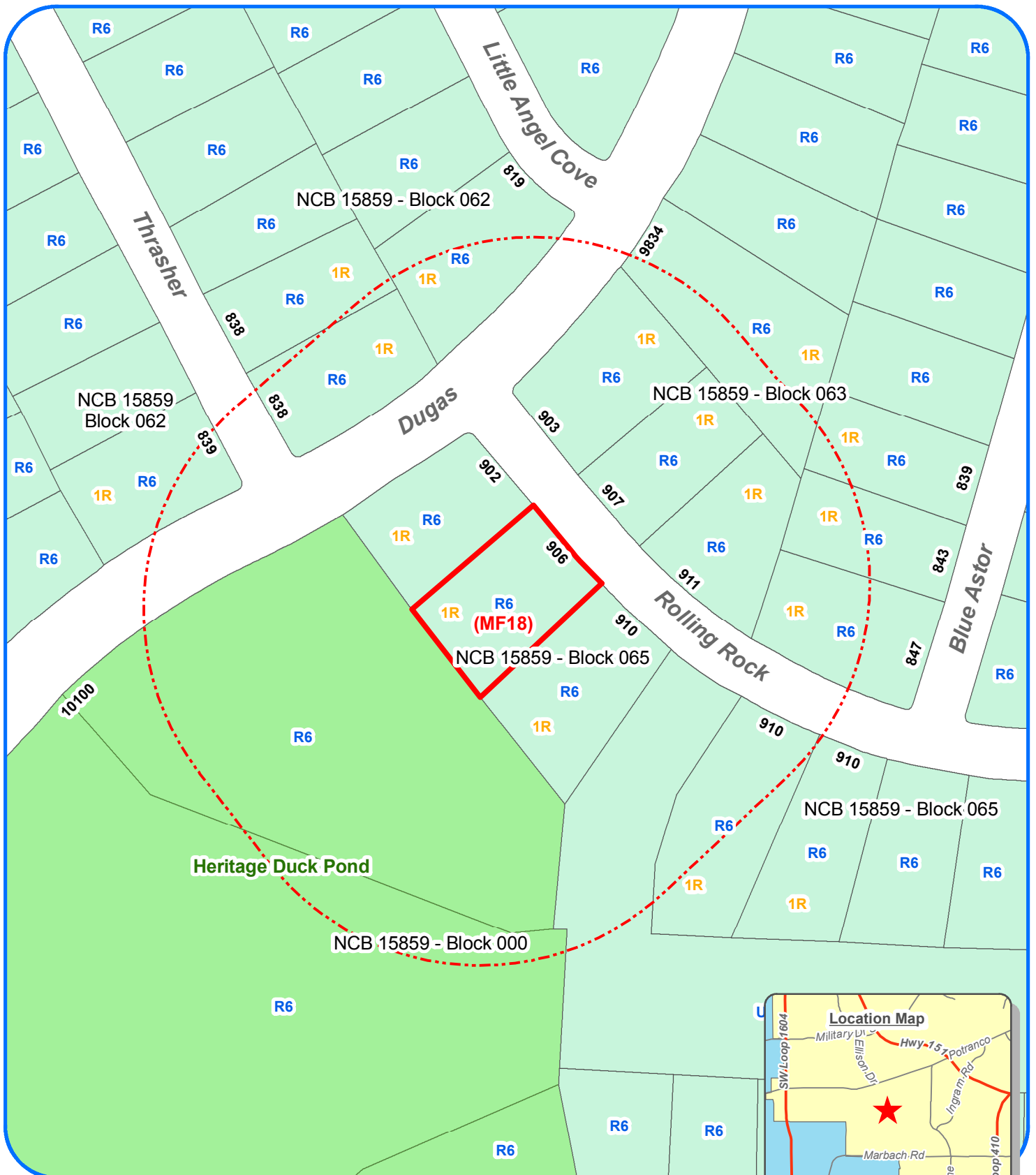
The request does not appear to conflict with any established public policy.

6. Size of Tract:

The 0.449 acre tract is of sufficient size to accommodate the requested zoning, as well as the proposed office use.

7. Other Factors:

If this request is approved, the owner will have to comply with all current site development standards to receive a Certificate of Occupancy, which include parking, landscaping and setbacks.



Zoning Case Notification Plan

Case Z-2011-075

Council District 4

Scale: 1" approx. = 100 Feet

Subject Property Legal Description(s): NCB 15859 - Block 065 - Lot 29

Legend

Subject Properties	(0.223 Acres)
200' Notification Area	
Current Zoning	TEXT
Requested Zoning Change	(TEXT)
100-Year DFIRM Floodplain	
Single Family Residential	1R



Development Services Dept
City of San Antonio
(03/21/2011 - E Hart)

Note: All Current and Requested Zoning includes AHOD Zoning (Airport Hazard Overlay District).



City of San Antonio

Development Services Department

Staff Report

To: Zoning Commission
Zoning Case #: Z2011075
Hearing Date: April 5, 2011
Property Owner: John Nlemadim
Applicant: John Nlemadim
Representative: Peter Uwakwe
Location: 906 Rolling Rock
Legal Description: Lot 29, Block 65, NCB 15859
Total Acreage: 0.2176
City Council District: 4
Case Manager: Micah Diaz, Planner
Case History: This is the first public hearing for this zoning case.

Proposed Zoning Change

Current Zoning: "R-6 AHOD" Residential Single-Family Airport Hazard Overlay District

Requested Zoning: "MF-18 AHOD" Limited Density Multi-Family Airport Hazard Overlay District

Procedural Requirements

The request was publicly noticed in accordance with Section 403 of the Unified Development Code (UDC). The application was published in The Daily Commercial Recorder, an official newspaper of general circulation on March 17, 2011. Notices were sent to property owners and registered neighborhood associations within two hundred (200) feet of the subject property on March 24, 2011. Additionally, notice of this meeting was posted at city hall and on the city's internet website on April 1, 2011, in accordance with Section 551.043(a) of the Texas Government Code.

Notices Mailed

Owners of Property within 200 feet: 18

Neighborhood Associations: Heritage Neighborhood Association

Planning Team Members: None

Applicable Agencies: None

Adjacent Zoning and Land Uses

Direction	Current Base Zoning	Current Land Uses
All directions	"R-6" Residential Single-Family District	Single-family residences and a public park

Overlay and Special District Information: All surrounding properties carry the "AHOD" Airport Hazard Overlay District, due to their proximity to an airport or approach path. The "AHOD" does not restrict permitted uses, but can require additional review of construction plans by both the Development Services Department and the Federal Aviation Administration.

Transportation

Thoroughfare	Existing Character	Proposed Changes
Rolling Rock	Local street; one lane in each direction	None known.
Dugan Drive	Local street; one lane in each direction	None known.
Thrasher	Local street; one lane in each direction	None known.

Public Transit: VIA bus line 613 operates along Potranco Road to the north, along Dugas Drive to the west, and along South Ellison Drive and Hayloft Lane to the south of the subject property.

Traffic Impact: A Traffic Impact Analysis (TIA) is not required. The traffic generated by the proposed development does not exceed the threshold requirements.

Parking Information: Parking requirements for assisted living facilities are determined as follows:

Minimum Parking Requirement: 0.3 of a space per room

Maximum Parking Requirement: 1 space per room

The existing facility provides two parking spaces in the driveway. As the zoning request does not require submittal of a site plan, and the requested multi-family zoning district does not limit the permitted number of residents, staff cannot calculate future parking requirements for the subject property.

Staff Analysis and Recommendation: Denial of “MF 18 AHOD”; with an alternate recommendation of “R-6 CD AHOD” Residential Single-Family District with a Conditional Use for an Assisted Living Facility with six or more residents.

Topography: The property does not include any abnormal physical features such as slope or inclusion in a flood plain.

Property History: The subject property was annexed in 1995 (Ordinance 83136) and was originally zoned “Temp R-1” Temporary Single Family Residence District. Upon adoption of the 2001 Unified Development Code, the previous base zoning district converted to the current “R-6” Residential Single-Family District. The surrounding neighborhood, including the subject property, was platted in 1981. The single-family residence was originally constructed in 1982, but currently is being used as an assisted living facility.

Criteria for Review: According to Section 35-421, zoning amendments shall be based on the approval criteria below.

1. Consistency:

The subject property is not located within a Neighborhood or Community Plan area. However, the entire surrounding neighborhood is zoned for single-family residential uses. The only non-single-family use in the immediate vicinity is the public park that abuts the subject property. The requested multi-family zoning district is inconsistent with the surrounding zoning and uses.

2. Adverse Impacts on Neighboring Lands:

Approval of the requested zoning would allow up to three dwelling units on the subject property, and would create a precedent for increased density within the neighborhood.

3. Suitability as Presently Zoned:

The existing single-family zoning district permits assisted living facilities and community homes with five or fewer residents, such as the one currently operated on the subject property. The purpose of the requested zoning change is to allow six or more residents in the existing facility. However, the increased number of residents can be permitted through a conditional use in the existing “R-6” district.

4. Health, Safety and Welfare:

Staff has found no indication of likely adverse effects on the public health, safety, or welfare. Staff supports continued use of the subject property as an assisted living facility. Staff also does not object to allowing the facility to increase the number of residents; however, such an increase should be permitted in a way that does not upset the character of the surrounding neighborhood.

5. Public Policy:

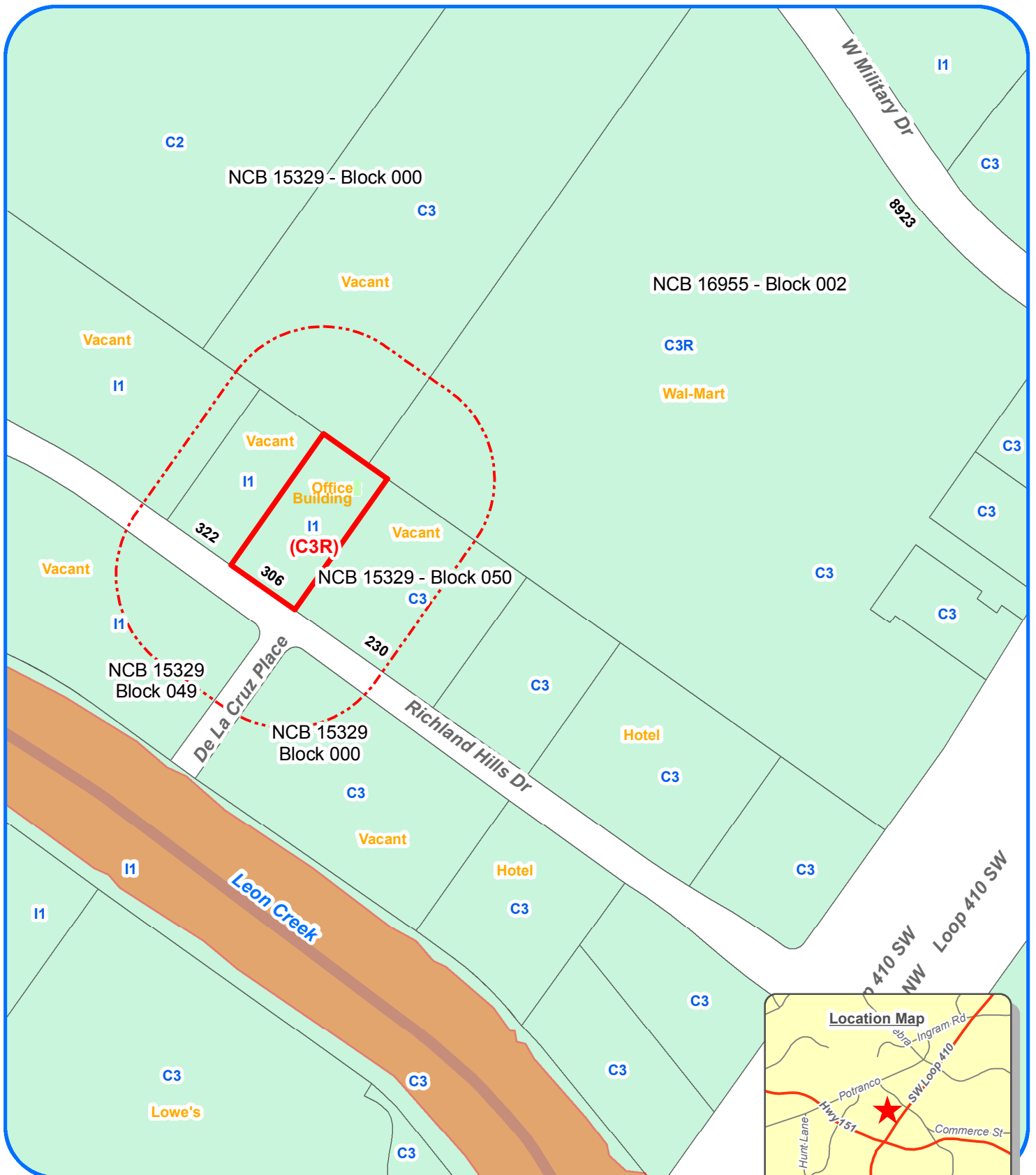
None.

6. Size of Tract:

Regardless of the base zoning district, if the facility is permitted to house six or more residents it will be obligated to meet international building code requirements for larger congregated living facilities. Ultimately, the number of residents will be limited by the improvements made (including available parking) and the State of Texas licensing requirements.

7. Other Factors:

None.



Zoning Case Notification Plan

Case Z-2011-078

Council District 6

Scale: 1" approx. = 250 Feet

Subject Property Legal Description(s): NCB 15329 - Block 050 - Lot 3

Legend

Subject Properties	(1.00 Acres)
200' Notification Area	
Current Zoning	TEXT
Requested Zoning Change	(TEXT)
100-Year DFIRM Floodplain	
Single Family Residential	1R



Development Services Dept
City of San Antonio
(03/21/2011 - E Hart)

Note: All Current and Requested Zoning includes AHOD Zoning (Airport Hazard Overlay District).



City of San Antonio

Development Services Department

Staff Report

To: Zoning Commission
Zoning Case #: Z2011078
Hearing Date: April 5, 2011
Property Owner: Biltmore Plaza, L. P.
Applicant: Jim Moore
Representative: Jim Moore
Location: 306 Richland Hills Drive
Legal Description: Lot 3, Block 50, NCB 15329
Total Acreage: 1
City Council District: 6
Case Manager: Pedro Vega, Planner
Case History: This is the first public hearing for this zoning request.

Proposed Zoning Change

Current Zoning: "I-1 AHOD" General Industrial Airport Hazard Overlay District.

Requested Zoning: "C-3R AHOD" General Commercial Restrictive Alcoholic Sales Airport Hazard Overlay District

Procedural Requirements

The request was publicly noticed in accordance with Section 403 of the Unified Development Code (UDC). Notices were sent to property owners and registered neighborhood associations within two hundred (200) feet of the subject property on March 23, 2011. The application was published in The Daily Commercial Recorder, an official newspaper of general circulation on March 17, 2011. Additionally, notice of this meeting was posted at city hall and on the city's internet website on April 1, 2011, in accordance with Section 551.043(a) of the Texas Government Code.

Notices Mailed

Owners of Property within 200 feet: 8

Neighborhood Associations: None

Planning Team Members: None

Applicable Agencies: None

Adjacent Zoning and Land Uses

Direction	Current Base Zoning	Current Land Uses
Northeast	"C-3 AHOD"	Vacant Land and Wal-Mart
Northwest	"I-1 AHOD"	Vacant Land
Southwest across Richland Hills Dr	"I-1 AHOD"	Vacant Land
Southeast	"C-3 AHOD"	Vacant Land

Overlay and Special District Information: All surrounding properties carry the "AHOD" Airport Hazard Overlay District, due to their proximity to an airport or approach path. The "AHOD" does not restrict permitted uses, but can require additional review of construction plans by both the Development Services Department and the Federal Aviation Administration.

Transportation

Thoroughfare	Existing Character	Proposed Changes
Richland Hills Drive	Collector Street two lanes in each direction	None

Public Transit: The VIA bus line is the number 64 which operates along Richland Hills Drive, with multiple bus stops.

Traffic Impact: A Traffic Impact Analysis (TIA) is not required because traffic generated by the proposed development does not exceed the threshold requirements.

Parking Information: Minimum Parking Requirement: 1 per 400 sf GFA. Maximum Parking Requirement: 1 per 100 sf GFA.

Staff Analysis and Recommendation: Approval

Topography: The subject property is relatively flat and has no physical characteristics that are likely to affect the use.

Property History: The subject property was annexed in May of 1986 and was originally zoned Temporary "R-1" Single-family Residence District. In September of 1986, Lot 3 was part of a rezoning that changed the zoning to "I-1" Light Industrial District. Upon adoption of the 2001 Unified Development Code, the previous zoning district converted to the current "I-1 AHOD" General Industrial Airport Hazard Overlay District

Criteria for Review: According to Section 35-421, zoning amendments shall be based on the approval criteria below.

1. Consistency:

The subject property is not located within a Neighborhood or Community Plan.

2. Adverse Impacts on Neighboring Lands:

The "C-3R AHOD" General Commercial Restrictive Alcoholic Sales Airport Hazard Overlay District is a downzoning from the current "I-1 AHOD" General Industrial Airport Hazard Overlay District. The granting of the zoning request will support an appropriate pattern of commercial development along Richland Hills Drive.

3. Suitability as Presently Zoned:

The current industrial zoning and proposed general commercial zoning are both appropriate for the area. The "C-3 AHOD" General Commercial Airport Hazard Overlay District supports a consistent zoning pattern and allows more flexibility. This lot is at the fringes of an established business park.

4. Health, Safety and Welfare:

Staff has found no indication of likely adverse effects on the public health, safety, or welfare. District regulations within the "C-3R" district are the same as in "C-3" districts except that no sales of alcoholic beverages for on-premises consumption shall be permitted.

5. Public Policy:

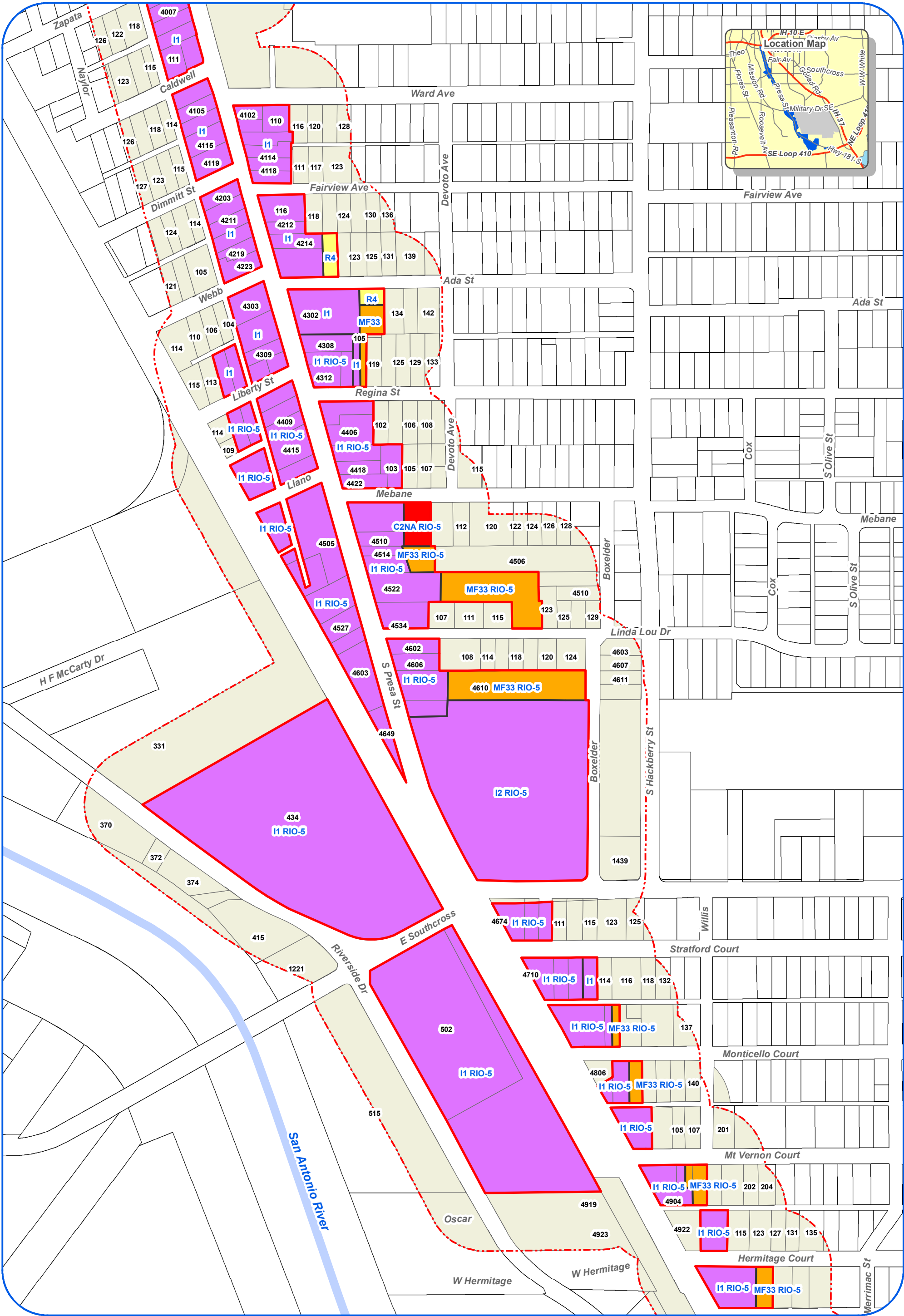
The request does not appear to conflict with any established public policy.

6. Size of Tract:

The 0.7708 acre site is adequate for a medical office building as well as general commercial uses.

7. Other Factors:

The proposed "C-3R AHOD" General Commercial Restrictive Alcoholic Sales Airport Hazard Overlay District allows an efficient use of the 0.7708 acre site and would allow comparable development along the neighboring highway and adjacent to the business park.



Current Zoning Classifications
South Presa Metropolitan Corridor
Case Z-2011-076 (Steet 2 of 8)

Council District 3
Scale: 1" approx. = 300 ft

Note: All Current and Requested Zoning includes AHOD Zoning (Airport Hazard Overlay District).

Proposed Parcels to be Re-Zoned = 321
Total Notifications to be Made = 1,007
Acres to be Re-Zoned = 330.4
200' Notification Area

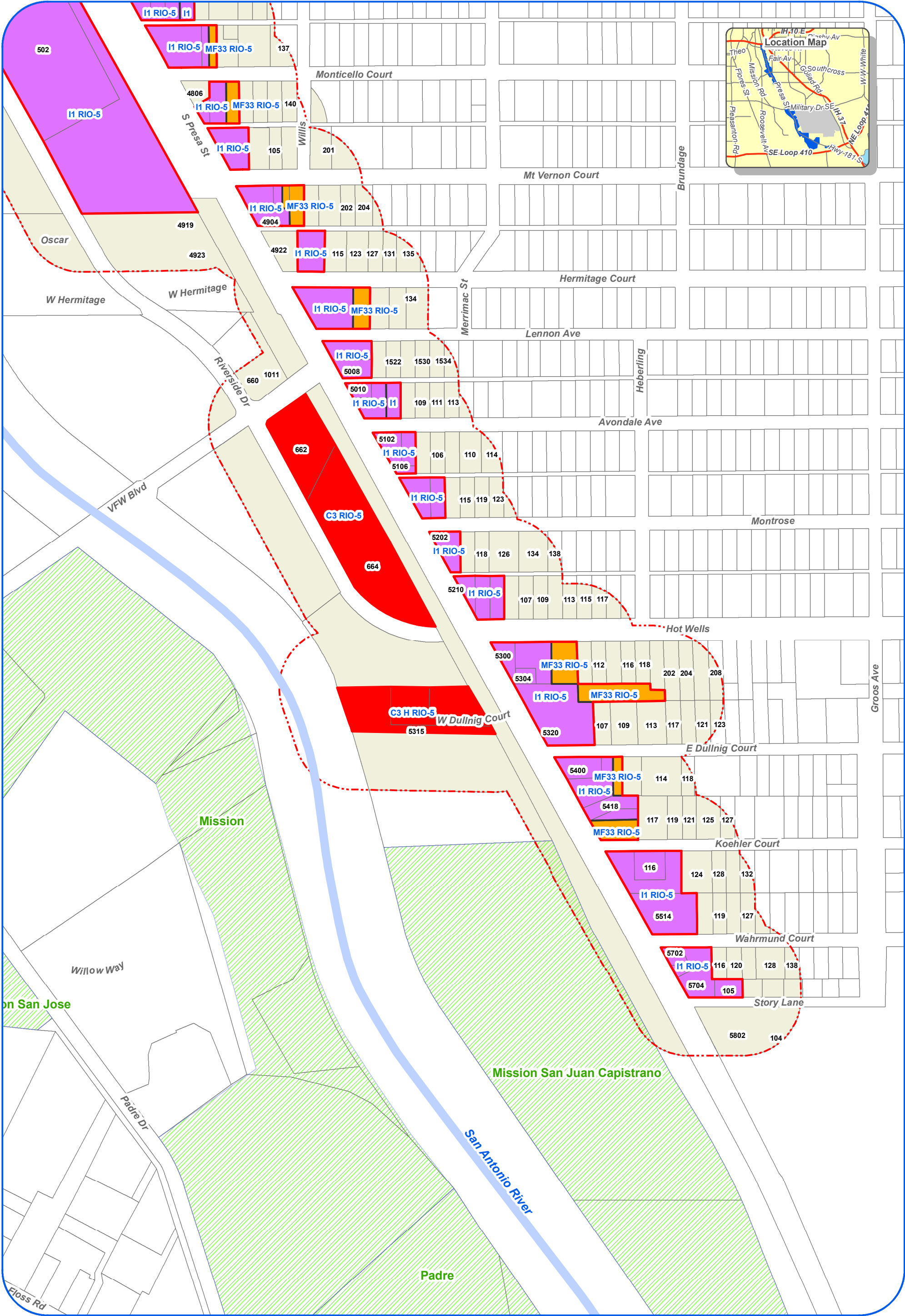


Legend

- Commercial (68 Classifications)
- Industrial (279 Classifications)
- Neighborhood Preservation (2 Classifications)
- Residential Mixed (2 Classifications)
- Residential Multi-Family (22 Classifications)
- Residential Single-Family (12 Classifications)



Development Services Dept
City of San Antonio
(03/28/2011 - E Hart)



Current Zoning Classifications
South Presa Metropolitan Corridor
Case Z-2011-076 (Steet 3 of 8)

Council District 3
Scale: 1" approx. = 300 ft

Note: All Current and Requested Zoning includes AHOD Zoning (Airport Hazard Overlay District).

Proposed Parcels to be Re-Zoned = 321
Total Notifications to be Made = 1,007
Acres to be Re-Zoned = 330.4
200' Notification Area

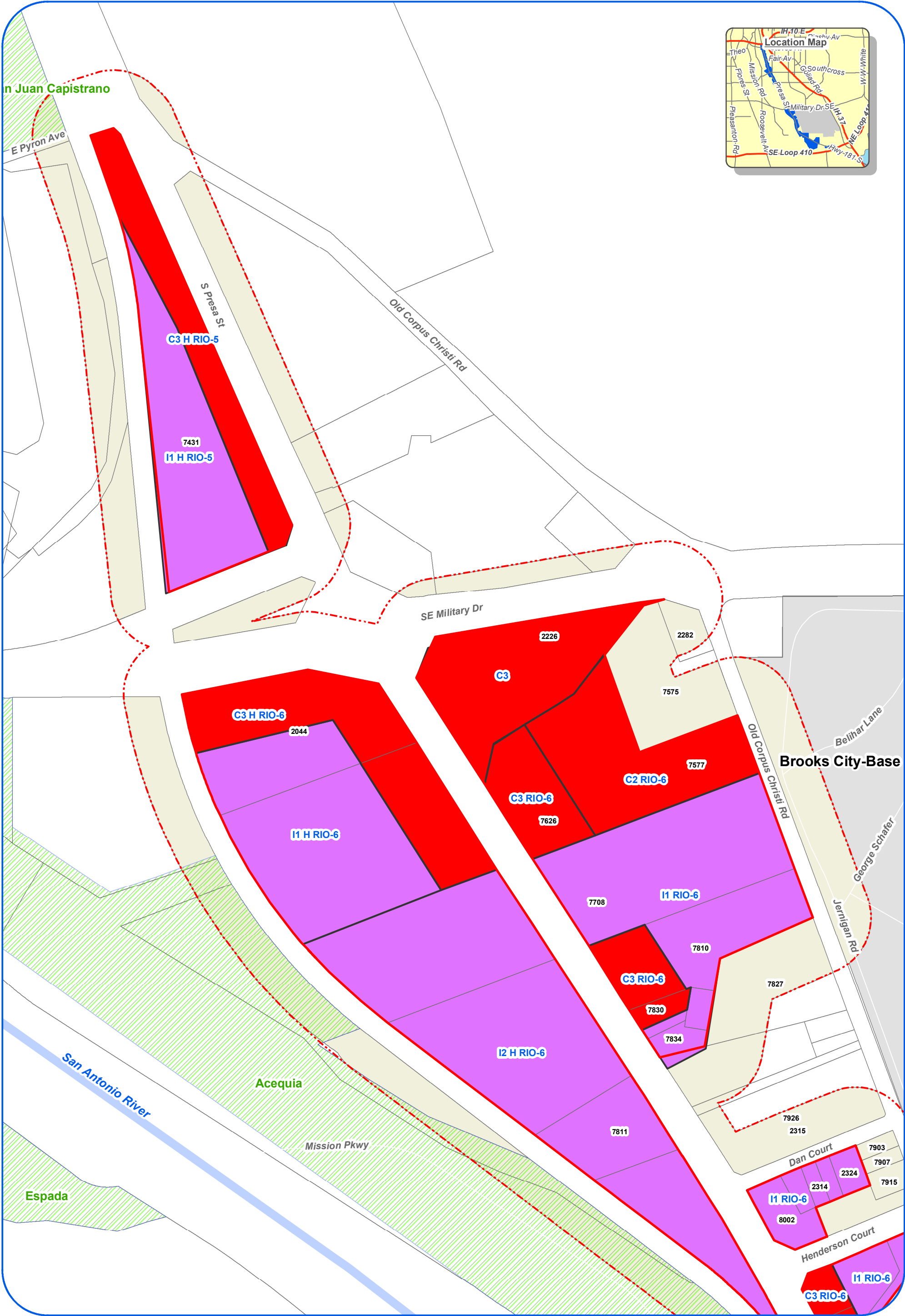


Legend

- Commercial (68 Classifications)
- Industrial (279 Classifications)
- Neighborhood Preservation (2 Classifications)
- Residential Mixed (2 Classifications)
- Residential Multi-Family (22 Classifications)
- Residential Single-Family (12 Classifications)



Development Services Dept
City of San Antonio
(03/28/2011 - E Hart)



Current Zoning Classifications
South Presa Metropolitan Corridor
Case Z-2011-076 (Steet 4 of 8)

Council District 3
Scale: 1" approx. = 300 ft

Note: All Current and Requested Zoning includes AHOD Zoning (Airport Hazard Overlay District).

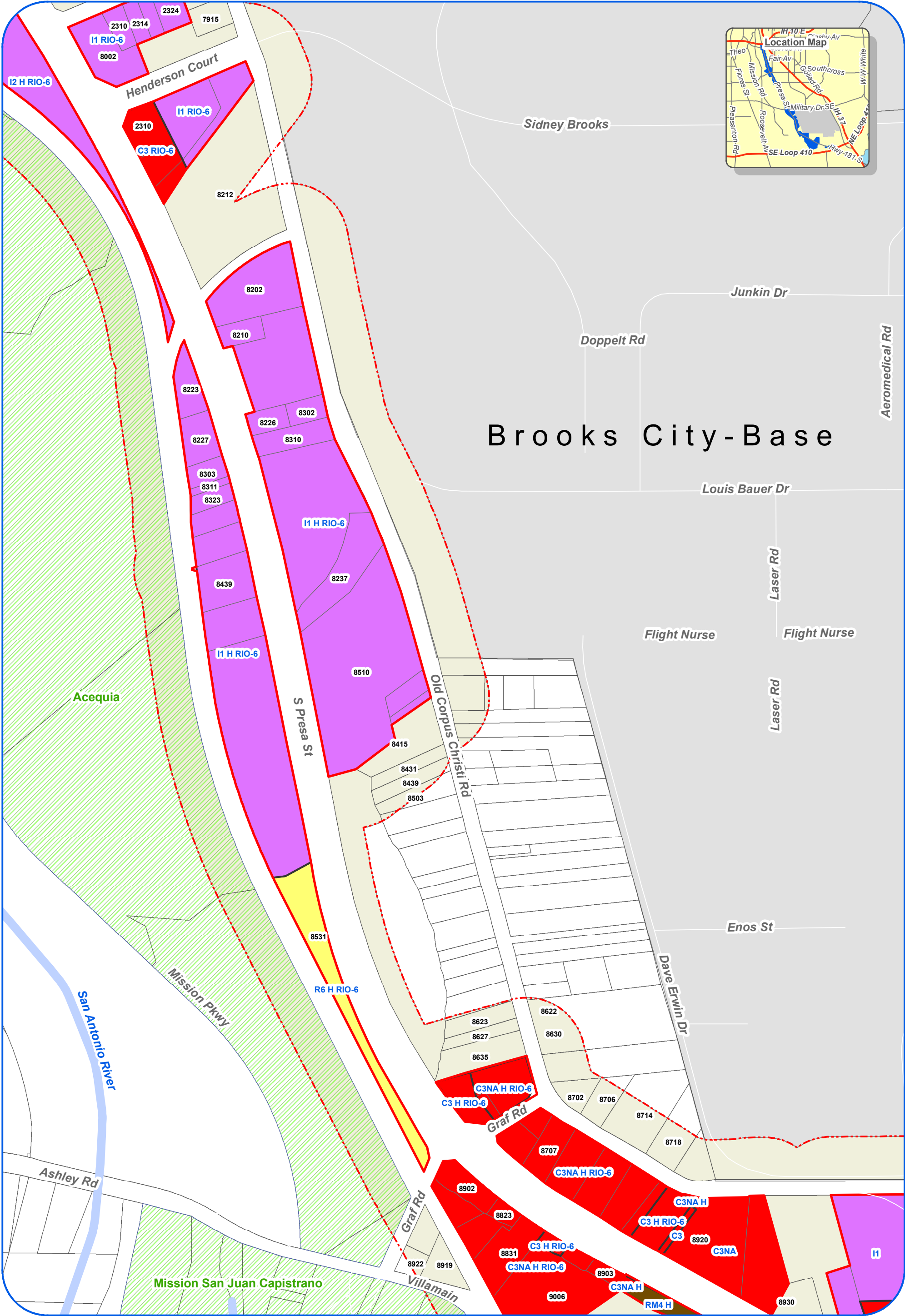
Proposed Parcels to be Re-Zoned = 321
Total Notifications to be Made = 1,007
Acres to be Re-Zoned = 330.4
200' Notification Area



Legend

- Commercial (68 Classifications)
- Industrial (279 Classifications)
- Neighborhood Preservation (2 Classifications)
- Residential Mixed (2 Classifications)
- Residential Multi-Family (22 Classifications)
- Residential Single-Family (12 Classifications)





Current Zoning Classifications
South Presa Metropolitan Corridor
Case Z-2011-076 (Steet 5 of 8)

Council District 3
Scale: 1" approx. = 300 ft

Note: All Current and Requested Zoning includes AHOD Zoning (Airport Hazard Overlay District).

Proposed Parcels to be Re-Zoned = 321
Total Notifications to be Made = 1,007
Acres to be Re-Zoned = 330.4
200' Notification Area

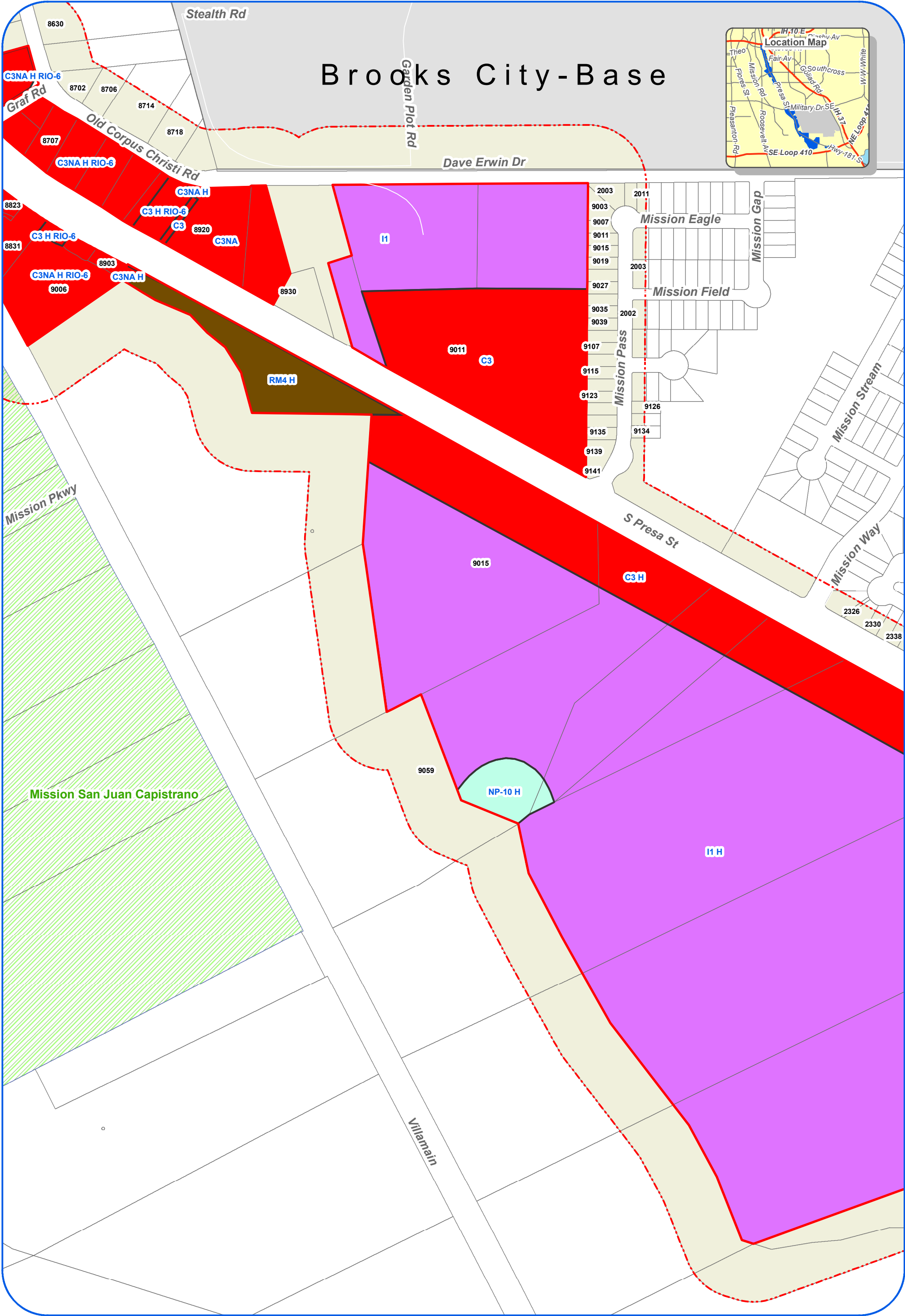


Legend

- Commercial (68 Classifications)
- Industrial (279 Classifications)
- Neighborhood Preservation (2 Classifications)
- Residential Mixed (2 Classifications)
- Residential Multi-Family (22 Classifications)
- Residential Single-Family (12 Classifications)



Development Services Dept
City of San Antonio
(03/28/2011 - E Hart)



Current Zoning Classifications
South Presa Metropolitan Corridor
Case Z-2011-076 (Steet 6 of 8)

Council District 3
Scale: 1" approx. = 300 ft

Note: All Current and Requested Zoning includes AHOD Zoning (Airport Hazard Overlay District).

Proposed Parcels to be Re-Zoned = 321
Total Notifications to be Made = 1,007
Acres to be Re-Zoned = 330.4
200' Notification Area



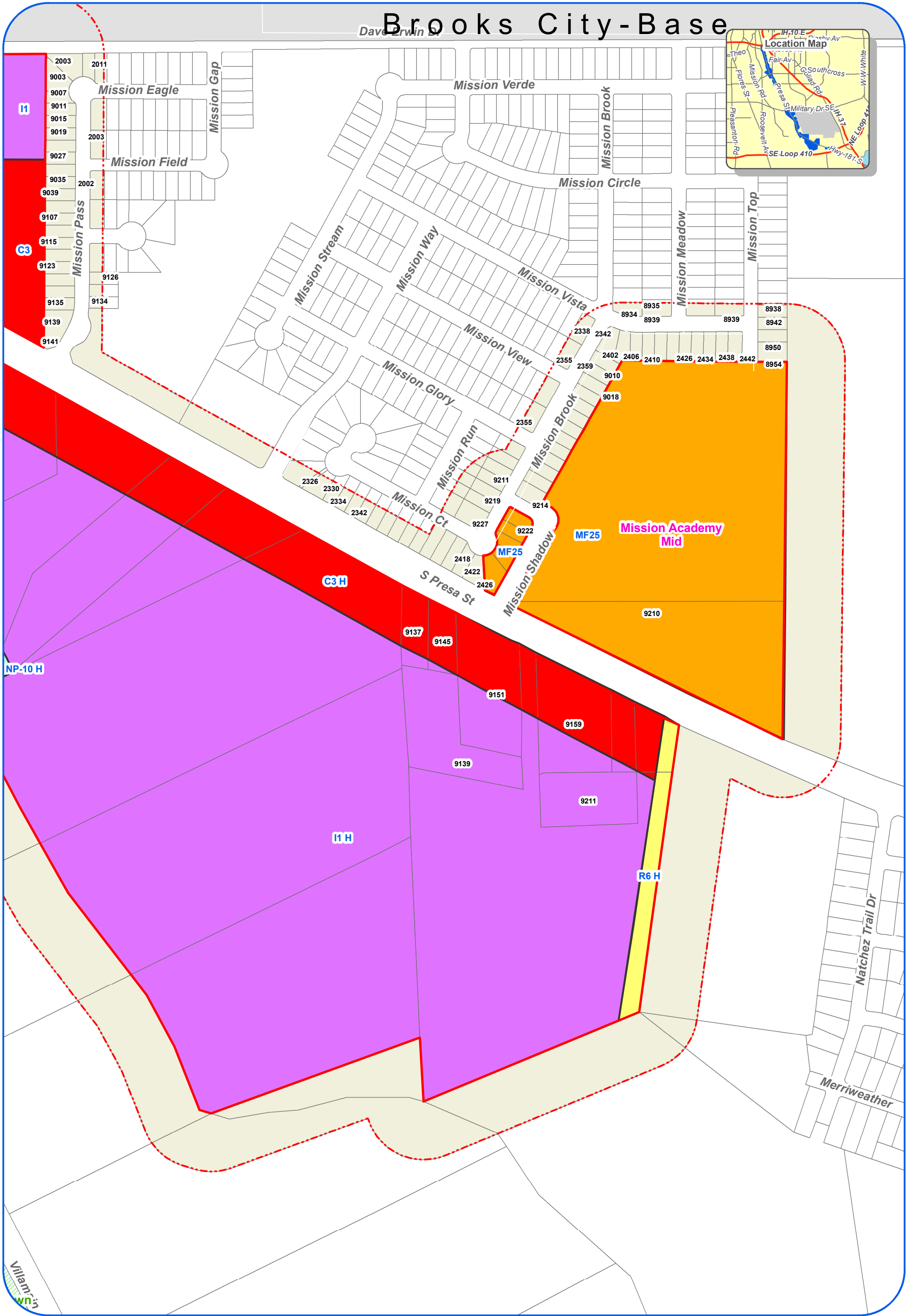
- Legend**
- Commercial (68 Classifications)
 - Industrial (279 Classifications)
 - Neighborhood Preservation (2 Classifications)
 - Residential Mixed (2 Classifications)
 - Residential Multi-Family (22 Classifications)
 - Residential Single-Family (12 Classifications)



Development Services Dept
City of San Antonio
(03/28/2011 - E Hart)

Brooks City-Base

Dave Erwin Dr



Current Zoning Classifications

South Presa Metropolitan Corridor Case Z-2011-076 (Steet 7 of 8)

Council District 3

Scale: 1" approx. = 300 ft

Note: All Current and Requested Zoning includes AHOD Zoning (Airport Hazard Overlay District).

Proposed Parcels to be Re-Zoned = 321
Total Notifications to be Made = 1,007
Acres to be Re-Zoned = 330.4
200' Notification Area

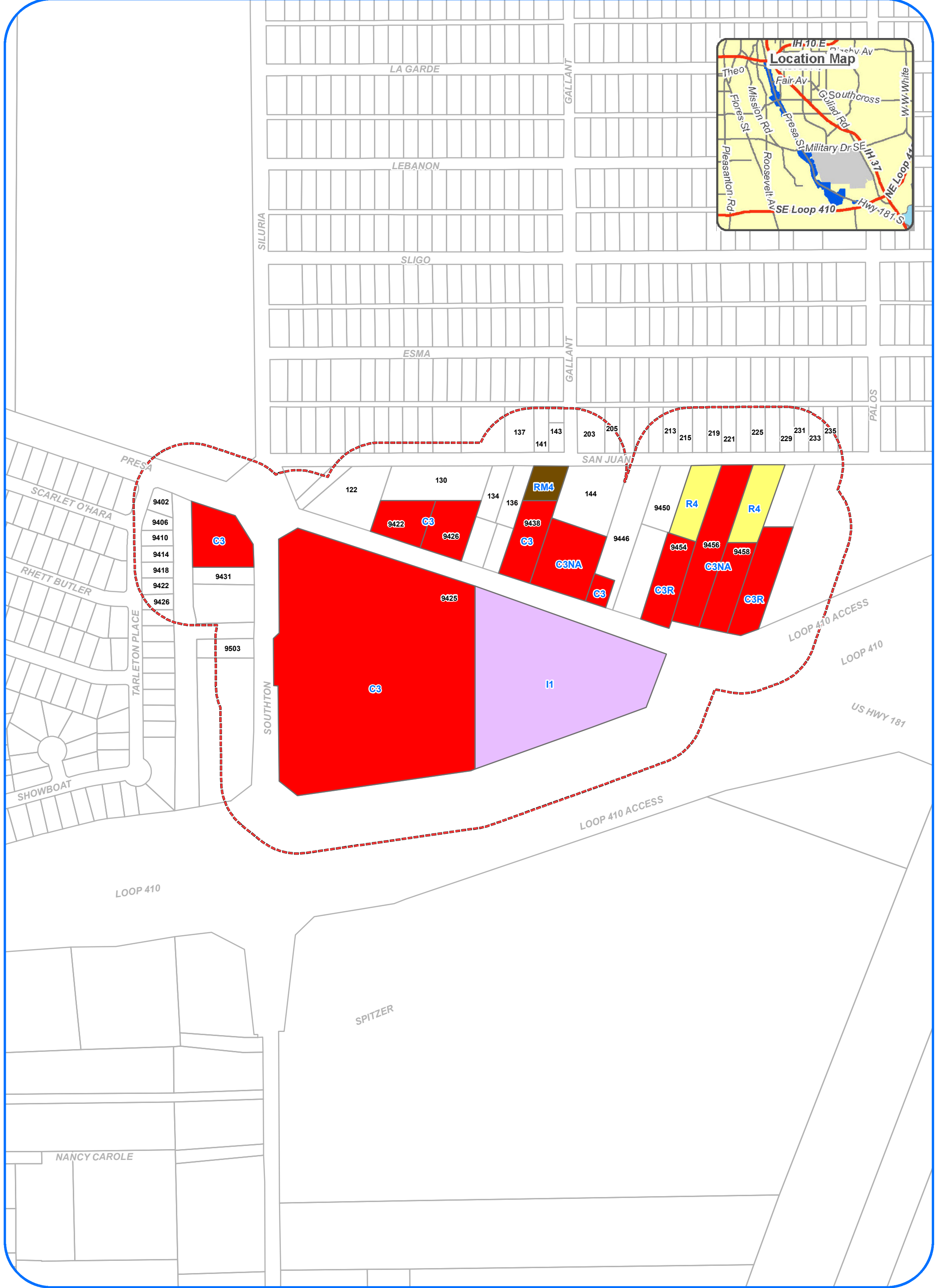


Legend

- Commercial (68 Classifications)
- Industrial (279 Classifications)
- Neighborhood Preservation (2 Classifications)
- Residential Mixed (2 Classifications)
- Residential Multi-Family (22 Classifications)
- Residential Single-Family (12 Classifications)



Development Services Dept
City of San Antonio
(03/28/2011 - E Hart)



Current Zoning Classifications

South Presa Metropolitan Corridor
Case Z-2011-076 (Sheet 8 of 8)

Council District 3

Scale: 1" approx. = 300'

Note: All Current and Requested Zoning includes AHOD Zoning (Airport Hazard Overlay District)

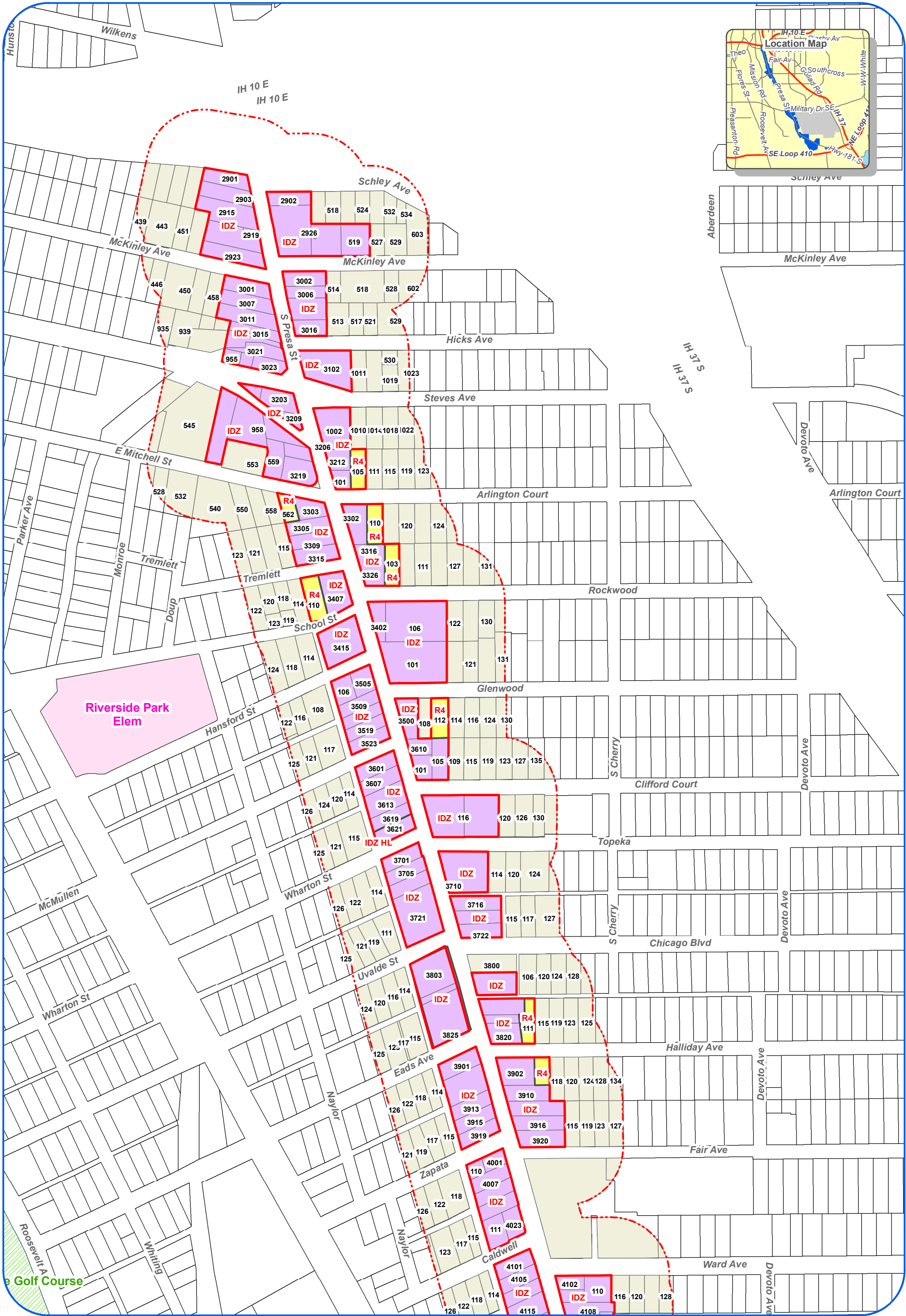
Proposed Parcels to be Re-Zoned = 325
Total Notifications to be Made = 1,011
Acres to be Re-Zoned = 349.2
200' Notification Area



- Legend
- Business Park (0 Classifications)
 - Commercial (69 Classifications)
 - Infill Development Zone (0 Classifications)
 - Neighborhood Preservation (2 Classifications)
 - Residential Mixed (2 Classifications)
 - Residential Multi-Family (22 Classifications)
 - Residential Single-Family (13 Classifications)



Development Services Dept.
City of San Antonio
(3/24/2011)



Proposed Zoning Classifications
South Presa Metropolitan Corridor
Case Z-2011-076 (Steet 1 of 8)

Council District 3
Scale: 1" approx. = 300 ft

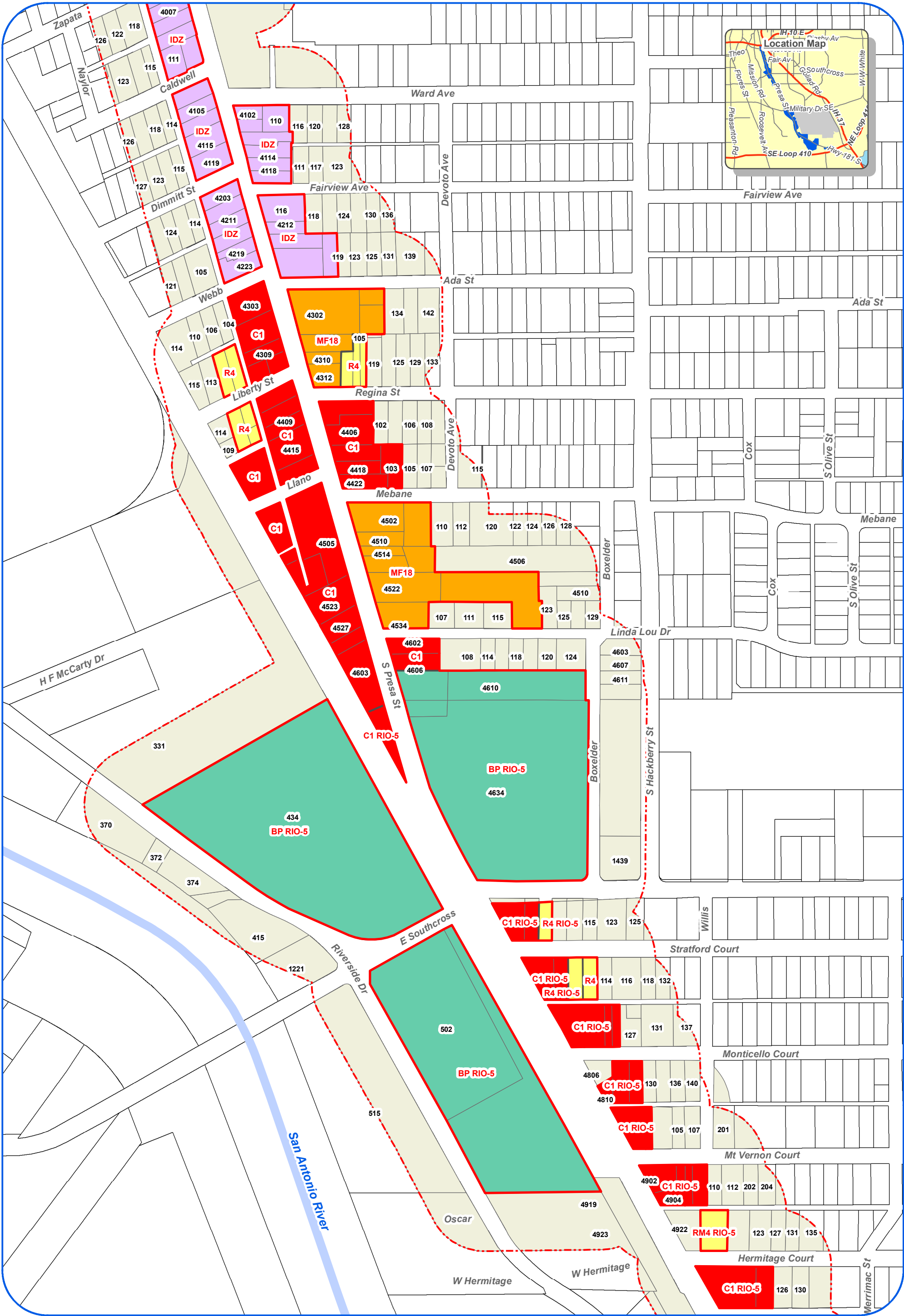
Note: All Current and Requested Zoning includes AHOD Zoning (Airport Hazard Overlay District).

Proposed Parcels to be Re-Zoned = 321
Total Notifications to be Made = 1,007
Acres to be Re-Zoned = 330.4
200' Notification Area (---)

- Legend**
- Business Park (11 Classifications)
 - Commercial (134 Classifications)
 - Infill Development Zone (120 Classifications)
 - Neighborhood Preservation (27 Classifications)
 - Residential Mixed (2 Classifications)
 - Residential Multi-Family (20 Classifications)
 - Residential Single-Family (71 Classifications)



Development Services Dept
City of San Antonio
(03/28/2011 - E Hart)



Proposed Zoning Classifications
South Presa Metropolitan Corridor
Case Z-2011-076 (Steet 2 of 8)

Council District 3
Scale: 1" approx. = 300 ft

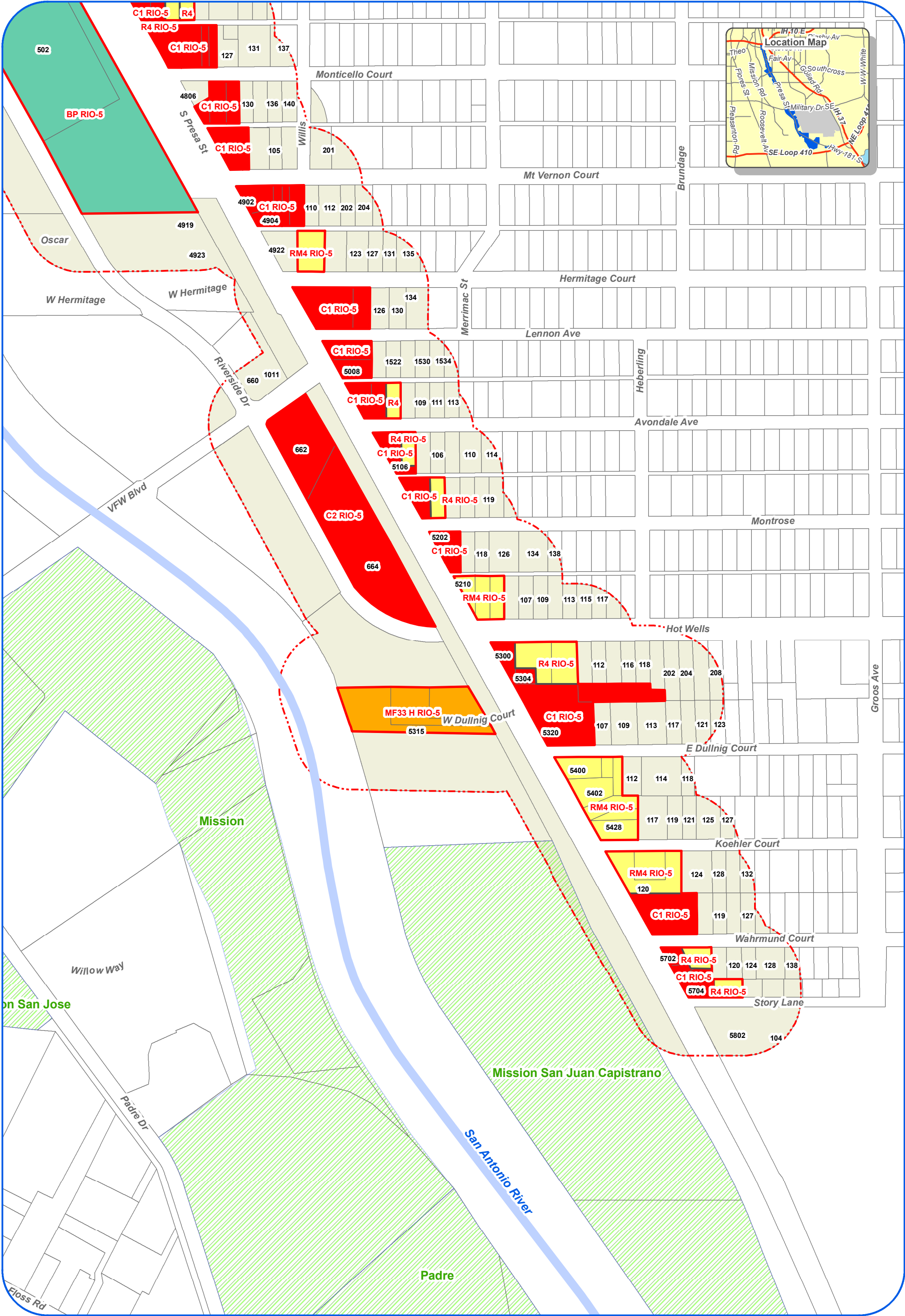
Note: All Current and Requested Zoning includes AHOD Zoning (Airport Hazard Overlay District).

Proposed Parcels to be Re-Zoned = 321
Total Notifications to be Made = 1,007
Acres to be Re-Zoned = 330.4
200' Notification Area

- Legend**
- Business Park (11 Classifications)
 - Commercial (134 Classifications)
 - Infill Development Zone (120 Classifications)
 - Neighborhood Preservation (27 Classifications)
 - Residential Mixed (2 Classifications)
 - Residential Multi-Family (20 Classifications)
 - Residential Single-Family (71 Classifications)



Development Services Dept
City of San Antonio
(03/28/2011 - E Hart)



Proposed Zoning Classifications
South Presa Metropolitan Corridor
Case Z-2011-076 (Steet 3 of 8)

Council District 3
Scale: 1" approx. = 300 ft

Note: All Current and Requested Zoning includes AHOD Zoning (Airport Hazard Overlay District).

Proposed Parcels to be Re-Zoned = 321
Total Notifications to be Made = 1,007
Acres to be Re-Zoned = 330.4
200' Notification Area

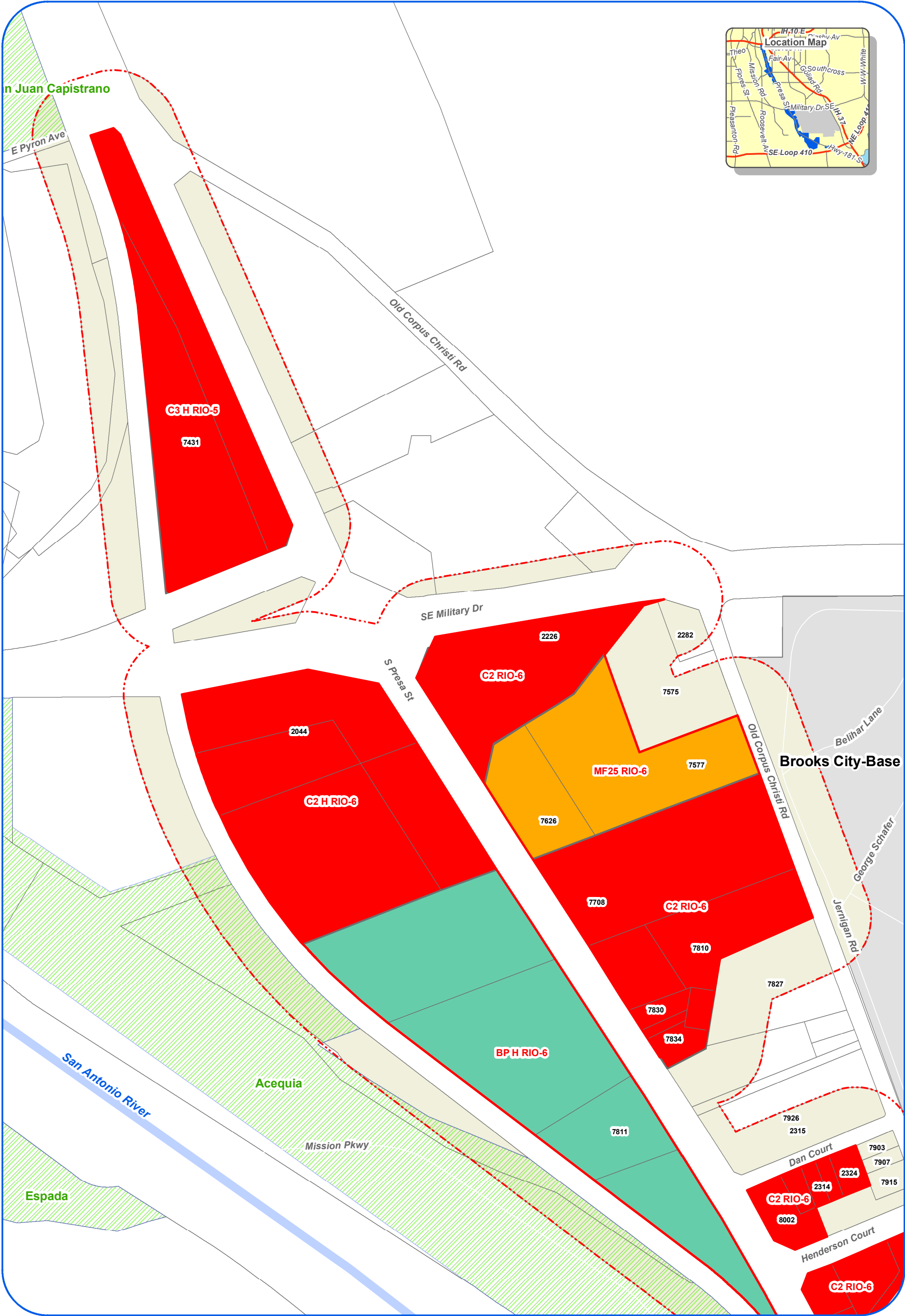


Legend

- Business Park (11 Classifications)
- Commercial (134 Classifications)
- Infill Development Zone (120 Classifications)
- Neighborhood Preservation (27 Classifications)
- Residential Mixed (2 Classifications)
- Residential Multi-Family (20 Classifications)
- Residential Single-Family (71 Classifications)



Development Services Dept
City of San Antonio
(03/28/2011 - E Hart)



Proposed Zoning Classifications
South Presa Metropolitan Corridor
Case Z-2011-076 (Steet 4 of 8)

Council District 3
Scale: 1" approx. = 300 ft

Note: All Current and Requested Zoning includes AHOD Zoning (Airport Hazard Overlay District).

Proposed Parcels to be Re-Zoned = 321
Total Notifications to be Made = 1,007
Acres to be Re-Zoned = 330.4
200' Notification Area

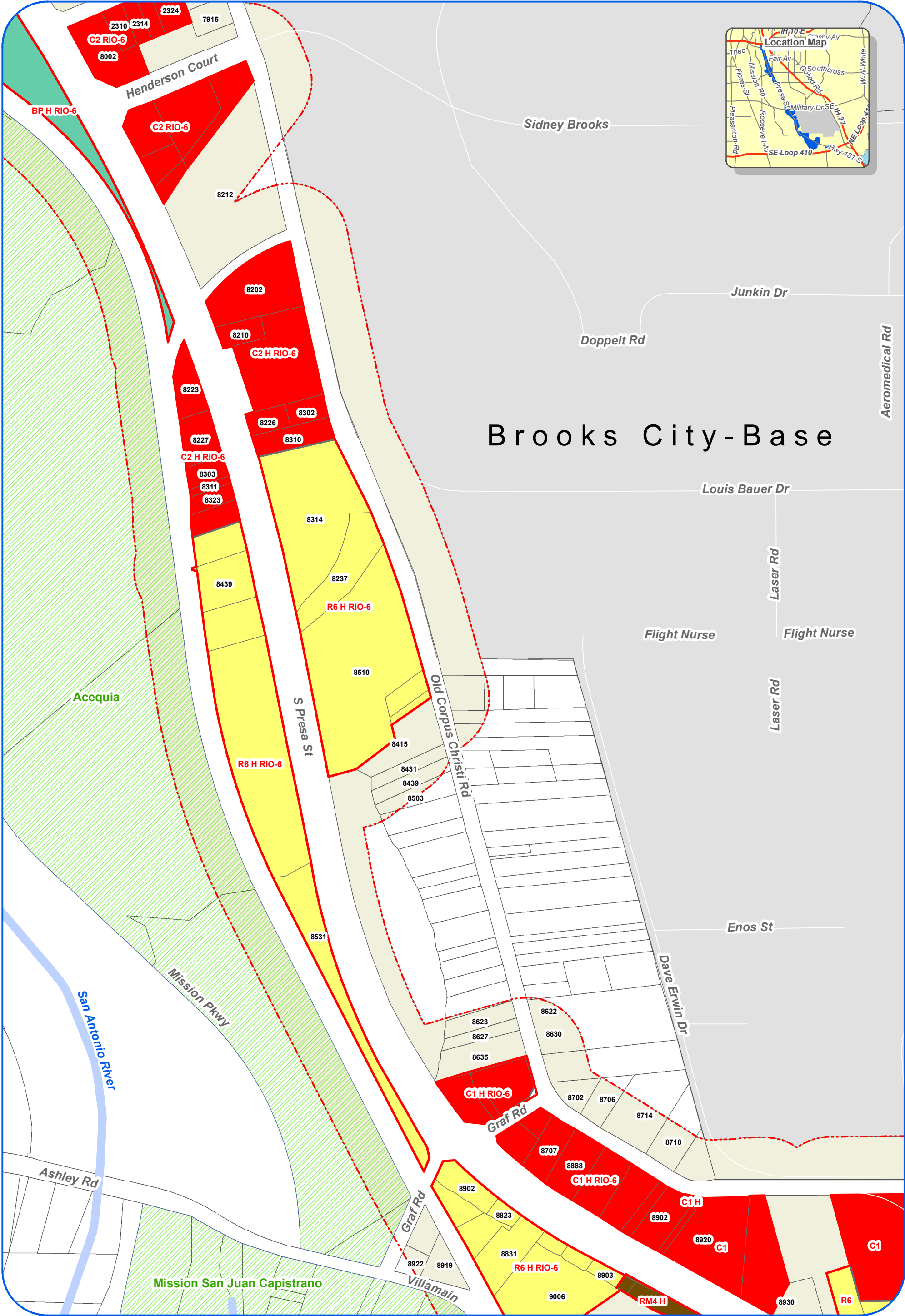


Legend

- Business Park (11 Classifications)
- Commercial (134 Classifications)
- Infill Development Zone (120 Classifications)
- Neighborhood Preservation (27 Classifications)
- Residential Mixed (2 Classifications)
- Residential Multi-Family (20 Classifications)
- Residential Single-Family (71 Classifications)



Development Services Dept
City of San Antonio
(03/28/2011 - E Hart)



Proposed Zoning Classifications
South Presa Metropolitan Corridor
Case Z-2011-076 (Steet 5 of 8)

Council District 3
Scale: 1" approx. = 300 ft

Note: All Current and Requested Zoning includes AHOD Zoning (Airport Hazard Overlay District).

Proposed Parcels to be Re-Zoned = 321
Total Notifications to be Made = 1,007
Acres to be Re-Zoned = 330.4
200' Notification Area

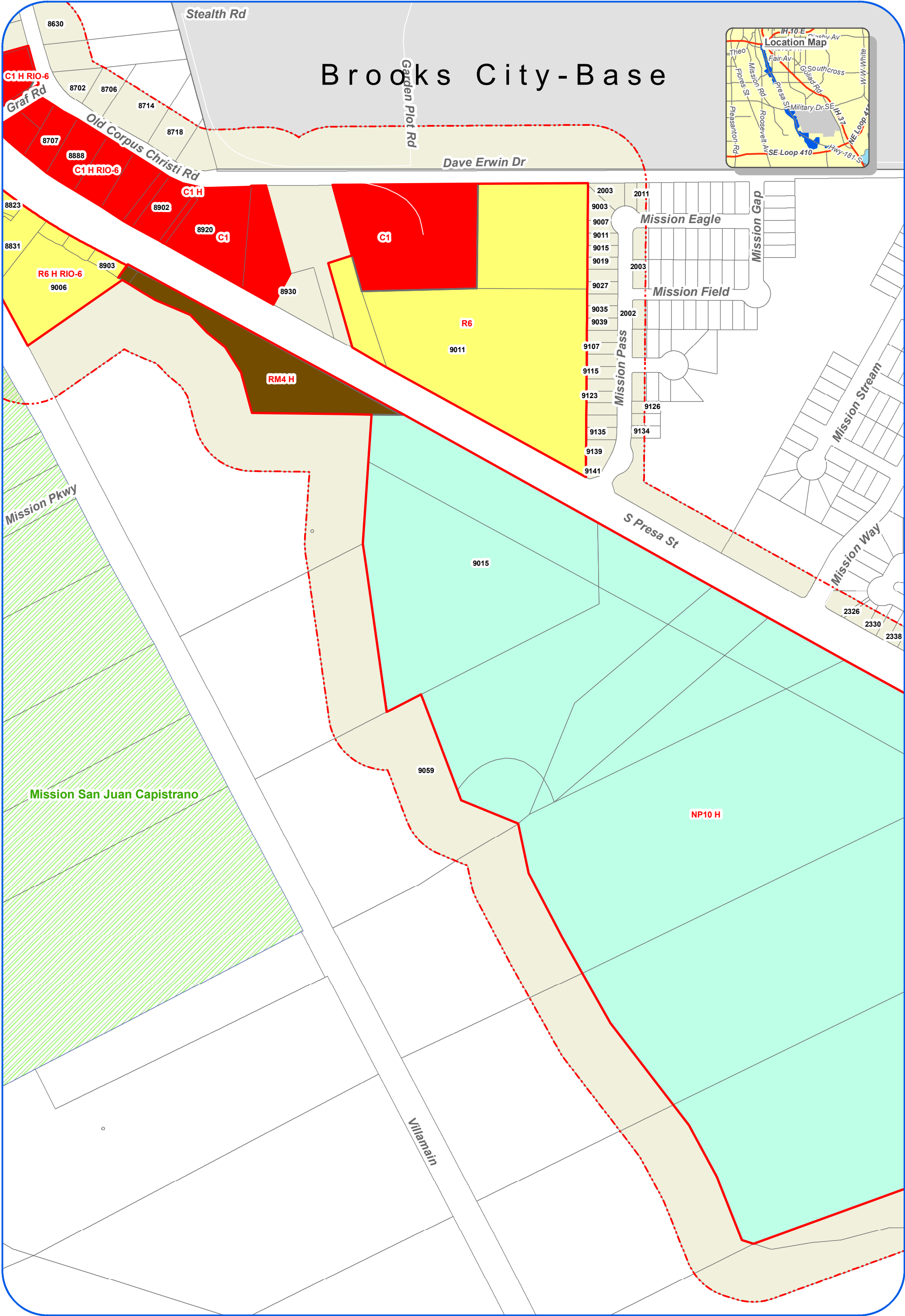


Legend

- Business Park (11 Classifications)
- Commercial (134 Classifications)
- Infill Development Zone (120 Classifications)
- Neighborhood Preservation (27 Classifications)
- Residential Mixed (2 Classifications)
- Residential Multi-Family (20 Classifications)
- Residential Single-Family (71 Classifications)



Development Services Dept
City of San Antonio
(03/28/2011 - E Hart)



Proposed Zoning Classifications
South Presa Metropolitan Corridor
Case Z-2011-076 (Steet 6 of 8)

Council District 3
Scale: 1" approx. = 300 ft

Note: All Current and Requested Zoning includes AHOD Zoning (Airport Hazard Overlay District).

Proposed Parcels to be Re-Zoned = 321
Total Notifications to be Made = 1,007
Acres to be Re-Zoned = 330.4
200' Notification Area



Legend

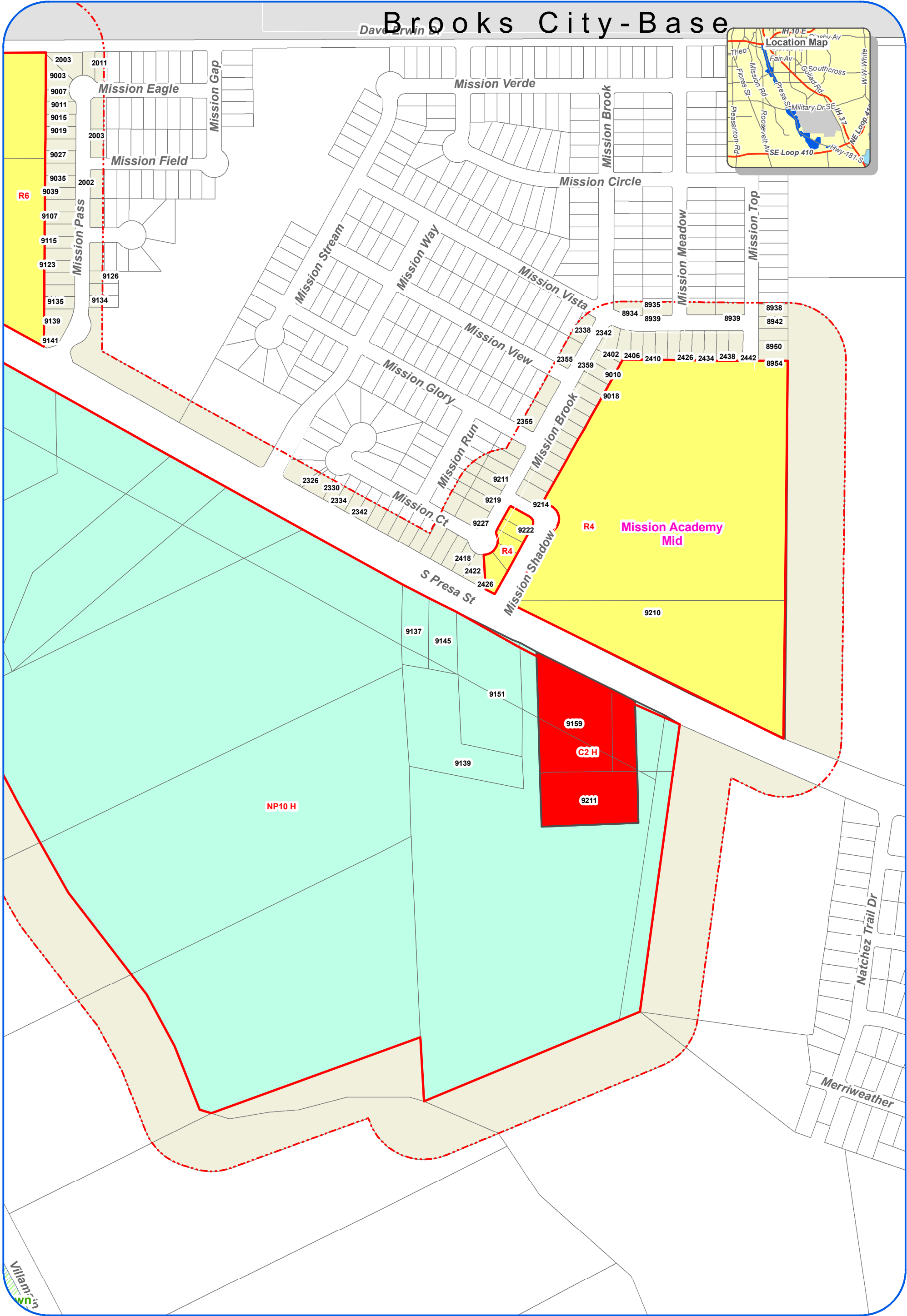
- Business Park (11 Classifications)
- Commercial (134 Classifications)
- Infill Development Zone (120 Classifications)
- Neighborhood Preservation (27 Classifications)
- Residential Mixed (2 Classifications)
- Residential Multi-Family (20 Classifications)
- Residential Single-Family (71 Classifications)



Development Services Dept
City of San Antonio
(03/28/2011 - E Hart)

Brooks City-Base

Dave Erwin Dr



Proposed Zoning Classifications

South Presa Metropolitan Corridor Case Z-2011-076 (Steet 7 of 8)

Council District 3

Scale: 1" approx. = 300 ft

Note: All Current and Requested Zoning includes AHOD Zoning (Airport Hazard Overlay District).

Proposed Parcels to be Re-Zoned = 321
Total Notifications to be Made = 1,007
Acres to be Re-Zoned = 330.4
200' Notification Area

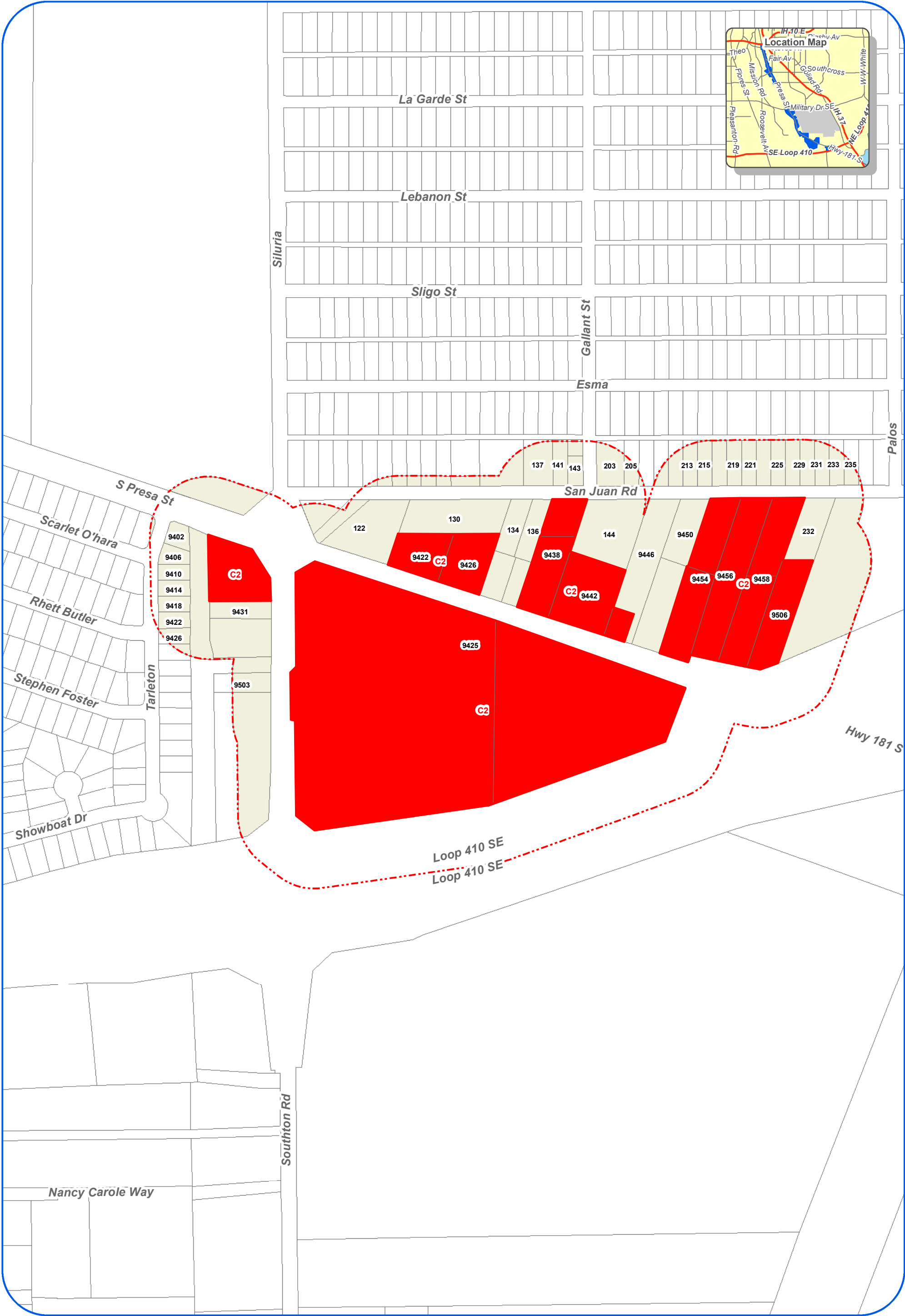


Legend

- Business Park (11 Classifications)
- Commercial (134 Classifications)
- Infill Development Zone (120 Classifications)
- Neighborhood Preservation (27 Classifications)
- Residential Mixed (2 Classifications)
- Residential Multi-Family (20 Classifications)
- Residential Single-Family (71 Classifications)



Development Services Dept
City of San Antonio
(03/28/2011 - E Hart)



Proposed Zoning Classifications
South Presa Metropolitan Corridor
Case Z-2011-076 (Steet 8 of 8)

Council District 3
Scale: 1" approx. = 300 ft

Note: All Current and Requested Zoning includes AHOD Zoning (Airport Hazard Overlay District).

Proposed Parcels to be Re-Zoned = 325
Total Notifications to be Made = 1,011
Acres to be Re-Zoned = 349.2
200' Notification Area



- Legend**
- Business Park (11 Classifications)
 - Commercial (137 Classifications)
 - Infill Development Zone (122 Classifications)
 - Neighborhood Preservation (27 Classifications)
 - Residential Mixed (2 Classifications)
 - Residential Multi-Family (20 Classifications)
 - Residential Single-Family (71 Classifications)



Development Services Dept
City of San Antonio
(03/16/2011 - E Hart)



City of San Antonio

Development Services Department

Staff Report

To: Zoning Commission

Zoning Case #: Z2011076

Hearing Date: April 5, 2011

Property Owner: Multiple property owners

Applicant: City of San Antonio

Representative: Rebecca Paskos

Location: Properties located within 200 feet of the centerline of South Presa Street between IH-10 and Southeast Military Drive and within 300 feet of the centerline of South Presa Street between Southeast Military Drive and Loop 410 and remaining portions of said property located outside of said distance from South Presa Street.

Legal Description: Multiple legal descriptions

Total Acreage: 330.4

City Council District: 3

Case Manager: Rebecca Paskos, Senior Planner

Case History: This is the first public hearing for this zoning request.

Proposed Zoning Change

Current Zoning: "C-2 AHOD" Commercial Airport Hazard Overlay District, "C-2 NA AHOD RIO-5" Commercial Non-Alcoholic Sales Airport Hazard Overlay River Improvement Overlay District-5, "C-2 AHOD RIO-6" Commercial Airport Hazard Overlay River Improvement Overlay District-6, "C-3 AHOD" General Commercial Airport Hazard Overlay District, "C-3 H AHOD" General Commercial Mission Historic Airport Hazard Overlay District, "C-3 H AHOD RIO-5" General Commercial Mission Historic Airport Hazard Overlay River Improvement Overlay District-5, "C-3 H AHOD RIO-6" General Commercial Mission Historic Airport Hazard Overlay River Improvement Overlay District-6, "C-3 NA AHOD" General Commercial Non-Alcoholic Sales Airport Hazard Overlay District, "C-3 NA H AHOD" General Commercial Non-Alcoholic Sales Mission Historic Airport Hazard Overlay District, "C-3 NA H AHOD RIO-6" General Commercial Non-Alcoholic Sales Mission Historic Airport Hazard Overlay River Improvement Overlay District-6, "C-3 R AHOD" Restrictive Commercial Airport Hazard Overlay District, "C-3 AHOD RIO-5" General Commercial Airport Hazard Overlay River Improvement Overlay District-5, "C-3 AHOD RIO-6" General Commercial Airport Hazard Overlay River Improvement Overlay District-6, "I-1 AHOD" General Industrial Airport Hazard Overlay District, "I-1 H AHOD" General Industrial Mission Historic Airport Hazard Overlay District, "I-1 H AHOD RIO-5" General Industrial Mission Historic Airport Hazard Overlay River Improvement Overlay District-5, "I-1 H AHOD RIO-6" General Industrial Mission Historic Airport Hazard Overlay River Improvement Overlay District-6, "I-1 HS AHOD" Historic Significant General Industrial Airport Hazard Overlay District, "I-1 AHOD RIO-5" General Industrial Airport Hazard Overlay River Improvement Overlay District-5, "I-1 AHOD RIO-6" General Industrial Airport Hazard Overlay River Improvement Overlay District-6, "I-2 AHOD RIO-5" Heavy Industrial Airport Hazard Overlay River Improvement Overlay District-5, "I-2 H AHOD RIO-6" Heavy Industrial Mission Historic Airport Hazard Overlay River Improvement Overlay District-6, "MF-25 AHOD" Low

Density Multi-family Airport Hazard Overlay District, “MF-33 AHOD” Multi-family Airport Hazard Overlay District, “MF-33 AHOD RIO-5” Multi-family Airport Hazard Overlay River Improvement Overlay District-5, “NP-10 H AHOD” Neighborhood Preservation Mission Historic Airport Hazard Overlay District, “R-4 AHOD” Residential Single Family Airport Hazard Overlay District, “R-6 H AHOD” Residential Single-Family Mission Historic Airport Hazard Overlay District, “R-6 H AHOD RIO-6” Residential Single-Family Mission Historic Airport Hazard Overlay River Improvement Overlay District-6, “RM-4 AHOD” Residential Mixed Airport Hazard Overlay District, and “RM-4 H AHOD” Residential Mixed Mission Historic Airport Hazard Overlay District

Requested Zoning: “BP H AHOD RIO-6” Business Park Mission Historic Airport Hazard Overlay River Improvement Overlay District-6, “BP AHOD RIO-5” Business Park Airport Hazard Overlay River Improvement Overlay District-5, “C-1 AHOD” Light Commercial Airport Hazard Overlay District, “C-1 H AHOD” Light Commercial Mission Historic Airport Hazard Overlay District, “C-1 H AHOD RIO-6” Light Commercial Mission Historic Airport Hazard Overlay River Improvement Overlay District-6, “C-1 AHOD RIO-5” Light Commercial Airport Hazard Overlay River Improvement Overlay District-5, “C-2 H AHOD” Commercial Mission Historic Airport Hazard Overlay District, “C-2 H AHOD RIO-6” Commercial Mission Historic Airport Hazard Overlay River Improvement Overlay District-6, “C-2 AHOD” Commercial Airport Hazard Overlay District, “C-2 AHOD RIO-5” Commercial Airport Hazard Overlay River Improvement Overlay District-5, “C-2 AHOD RIO-6” Commercial Airport Hazard Overlay River Improvement Overlay District-6, “C-3 H AHOD RIO-5” General Commercial Mission Historic Airport Hazard Overlay River Improvement Overlay District-5, “IDZ AHOD” Infill Development Zone Airport Hazard Overlay District with uses permitted in “C-1” Light Commercial District and “RM-4” Residential Mixed District, “IDZ HL AHOD” Historic Landmark Infill Development Zone Airport Hazard Overlay District with uses permitted in “C-1” Light Commercial District and “RM-4” Residential Mixed District, “MF-18 AHOD” Limited Density Multi-family Airport Hazard Overlay District, “MF-25 AHOD RIO-6” Low Density Multi-family Airport Hazard Overlay River Improvement Overlay District-6, “MF-33 H AHOD RIO-5” Multi-family Mission Historic Airport Hazard Overlay River Improvement Overlay District-5, “NP-10 H AHOD” Neighborhood Preservation Mission Historic Airport Hazard Overlay District, “R-4 AHOD” Residential Single-family Airport Hazard Overlay District, “R-4 RIO-5 AHOD” Residential Single-family Airport Hazard Overlay River Improvement Overlay District-5, “R-6 AHOD” Residential Single-family Airport Hazard Overlay District, “R-6 H AHOD RIO-6” Residential Single-family Mission Historic Airport Hazard Overlay River Improvement Overlay District-6, “RM-4 H AHOD” Residential Mixed Mission Historic Airport Hazard Overlay District, and “RM-4 AHOD RIO-5” Residential Mixed Airport Hazard Overlay River Improvement Overlay District-5

Procedural Requirements

The request was publicly noticed in accordance with Section 403 of the Unified Development Code (UDC). The application was published in The Daily Commercial Recorder, an official newspaper of general circulation on March 18, 2011. Notices were sent to affected property owners, property owners and registered neighborhood associations within two hundred (200) feet of the subject property, planning team members and applicable agencies on March 23, 2011. Additionally, notice of this meeting was posted at city hall and on the city’s internet website on April 1, 2011, in accordance with Section 551.043(a) of the Texas Government Code.

Notices Mailed

Number of Affected Properties: 322

Number of Properties within 200 feet: 685

Neighborhood Associations: Roosevelt Park, Riverside South, Mission San Jose, East Pyron/Symphony Lane, and Hot Wells

Planning Team Members: 16 – South Central San Antonio Community Plan; 26 – South Presa Corridor Planning Team

Applicable Agencies: Stinson Airport Vicinity stakeholders, National Park Service, San Antonio River Authority, San Antonio Independent School District, Office of Historic Preservation, and Aviation Department

Adjacent Zoning and Land Uses

Direction	Current Base Zoning	Current Land Uses
North	“R-4” Residential Single-Family District, “C-2” Commercial District, and “I-1” General Industrial District	Single family residences, senior center, and various commercial uses
East	“NP-10” Neighborhood Preservation District, “R-4” Residential Single-Family District, “R-6 H” Residential Single-Family Mission Historic District, “R-6 H RIO-6” Residential Single-Family Mission Historic River Improvement Overlay District-6, “MF-33” Multi-Family District, “MF-33 RIO-5” Multi-Family River Improvement Overlay District-5, “C-2” Commercial District, “C-2 RIO-5” Commercial District River Improvement Overlay District-5, “C-3” General Commercial District, “C-3 RIO-5” General Commercial District River Improvement Overlay District-5, “I-1” General Industrial District, “MR” Military Reservation District, and “MR H” Military Reservation Mission Historic District	Single family residences, multi-family residences, Brooks City Base, various commercial and industrial uses, and Texas Engineering Extension
South	“NP-10 H” Neighborhood Preservation Mission Historic District, “RM-4 H” Residential Mixed Mission Historic District, and “UD” Urban Development District	Single family residences, San Antonio River, railroad right-of-way, vacant property, and industrial uses
West	“NP-10 H” Neighborhood Preservation Mission Historic District, “R-4” Residential Single-Family, “R-5” Residential Single-Family, “R-6” Residential Single-Family, “R-6 H RIO-5” Residential Single-Family Mission Historic River Improvement Overlay District-5, “R-6 H RIO-6” Residential Single-Family Mission Historic River Improvement Overlay District-6, “MF-33 H RIO-5” Multi-Family Mission Historic River Improvement Overlay District-5, “C-2” Commercial District, “C-3” General Commercial District, “C-3 H RIO-5” General Commercial Mission Historic River Improvement Overlay District-5, “I-1” General Industrial District, “I-1 H RIO-5” General Industrial Mission Historic River Improvement Overlay District-5, “I-1 H RIO-6” General Industrial Mission Historic River Improvement Overlay District-6, and “I-2 H RIO-6” Heavy Industrial Mission Historic River Improvement Overlay District-6	Single family residences, parkland, railroad right-of-way, San Antonio River, and industrial uses

Overlay and Special District Information: All surrounding properties carry the "AHOD" Airport Hazard Overlay District, due to their proximity to an airport or approach path. The "AHOD" does not restrict permitted uses, but can require additional review of construction plans by both the Development Services Department and the Federal Aviation Administration.

Several properties lie within the "RIO-5" River Improvement Overlay District-5 and "RIO-6" River Improvement Overlay District-6 due to their proximity to the San Antonio River. The purpose of these districts is to establish regulations to protect, preserve, and enhance the San Antonio River and its improvements by establishing design standards and guidelines. Building permits within these overlay districts require a certificate of appropriateness.

Several properties are also within the "H" Mission Historic District. One property, 3621 S. Presa, is identified as "HS" Historic Significant Overlay District. In June 2010, the "HL" Historic Landmark Overlay District was created as a consolidation of the previous "HS" Historic Significant Overlay District and "HE" Historic Exceptional Overlay District. Historic Landmarks are resources that have been officially recognized by the City of San Antonio for their outstanding historical, cultural, architectural, or archaeological significance.

Transportation

Thoroughfare	Existing Character	Proposed Changes
South Presa	Secondary Arterial Type A, 1 to 2 lanes in each direction; Secondary Arterial Type B, 1 to 2 lanes in each direction	Rehabilitation – Ward to Hot Wells (2015)
Southeast Military	Primary Arterial Type A, 3 lanes in each direction and a turn lane	None known
East Southcross	Secondary Arterial Type A, 2 lanes in each direction	None known
Fair	Secondary Arterial Type B, 1 lane in each direction	None known
Steves	Secondary Arterial Type B, 2 lanes in each direction	None known
Hot Wells	Secondary Arterial Type B, 1 lane in each direction	None known
Southton	Secondary Arterial Type A, 1 lane in each direction	None known

Public Transit: VIA bus line 36 runs along South Presa Street with multiple bus stops along the corridor.

Traffic Impact: TIA requirement is waived for City Council initiated cases.

Parking Information: Parking requirements are based on individual use.

Staff Analysis and Recommendation: Approval

Topography: The property does not include any abnormal physical features. Portions of the property are within a flood plain. Trees, grassland and shrubs are more prevalent toward the southern portion of the property and abundant.

Property History: From north to the south, the character of the proposed South Presa Metropolitan Corridor transitions from an urban character with smaller buildings placed closer together that promote walkability to a more rural character with buildings set farther apart. The proposed South Presa Metropolitan Corridor is located near many of the historic sites along the San Antonio River including burial grounds, acequias, and San Juan Capistrano Mission. The portion of the corridor north of Ada Street and Webb was part of the area known as the original thirty-six square miles of the City. The remainder of the corridor was annexed in three annexations from 1944 to 1957. The area north of Southeast Military Drive was primarily built between the 1920s and 1950s. In the northern portion of the corridor, there are some structures that are over one hundred years old including the State Hospital property that was established just north of Southeast Military Drive along Presa Street in 1892. South of Southeast Military Drive there remains several large vacant parcels. Several of the vacant parcels are owned by the National Park Service, San

Antonio River Authority, and the City of San Antonio. The majority of areas south of Southeast Military Drive that were developed were developed between the 1970s to the present day. Most of the recent developments have been single family homes on four thousand square foot lots near the newly built Mission Academy. Improvements to the San Antonio River as part of the Historic Mission Reach, development at Brooks City Base, multiple privately owned and funded mixed-use developments, and other catalytic projects in the area including the Stinson Airport expansion are expected to drive redevelopment along South Presa Street.

Criteria for Review: According to Section 35-421, zoning amendments shall be based on the approval criteria below.

1. Consistency:

The subject property is located within the South Central San Antonio Community Plan and the Stinson Airport Vicinity Land Use Plan. The majority of the zoning request is consistent with the Future Land Use designation. The zoning recommendation for thirty-three properties is currently inconsistent with the land use plan. Two plan amendments have been filed in order for these properties to be consistent with the proposed zoning change.

2. Adverse Impacts on Neighboring Lands:

Denial of the zoning request could lead to future development of industrial and intense commercial uses on the subject property. Staff supports this request in order to further protect adjacent uses. The existing industrial and commercial zoning districts permit uses that are typically considered too intense to be located near residential uses. Additionally, setback and buffering requirements for industrial uses makes several of these lots unbuildable or very limited due to the current zoning in place.

3. Suitability as Presently Zoned:

The existing zoning is not appropriate for the subject property or the surrounding neighborhood. The industrial and intense commercial zoning is the result of out-dated zoning practices that were once very common, and that continue to affect the entire surrounding neighborhood. Current zoning practices would not place intense industrial and commercial zoning in or near established residential neighborhoods.

4. Health, Safety and Welfare:

Staff has found no indication of likely adverse effects on the public health, safety, or welfare due to this request. Staff believes that the removal of the industrial and intense commercial zoning would advance public safety in this area, as this type of zoning allows heavy vehicles, noise and potential noxious odors.

5. Public Policy:

South Central San Antonio Community Plan was adopted in 1999 and updated in 2005. The Stinson Airport Vicinity Land Use Plan was adopted in 2009. Both plans were adopted as components of the City's Master Plan.

6. Size of Tract:

Varies

7. Other Factors:

None.

A RESOLUTION **2010-03-18-0018R**

DIRECTING PLANNING AND DEVELOPMENT SERVICES DEPARTMENT STAFF TO UNDERTAKE LAND USE AND OTHER BACKGROUND STUDIES NECESSARY TO RECOMMEND TO THE CITY COUNCIL 1) A CORRIDOR OVERLAY DISTRICT ALONG BOTH SIDES OF SOUTH PRESA STREET BETWEEN IH-10 TO THE NORTH AND SE LOOP 410 TO THE SOUTH AND 2) A COMPREHENSIVE REZONING OF PROPERTIES GENERALLY LOCATED WITHIN THE BOUNDARIES OF THE PROPOSED SOUTH PRESA STREET CORRIDOR OVERLAY DISTRICT AS RECOMMENDED BY COUNCILWOMAN RAMOS, DISTRICT 3.

* * * * *

WHEREAS, the South Presa Street Corridor abuts, traverses, and links designated historic landmarks, historic districts, and the San Antonio River; and

WHEREAS, the South Presa Street Corridor is an amenity and asset of great value to the City, its inhabitants, its visitors and its economy; and

WHEREAS, the South Central Community Plan, adopted August 19, 1999 as a component of the City's Master Plan and updated October 26, 2005, identified the need to address incompatible land uses and enhance design standards along the commercial corridors including South Presa Street; and

WHEREAS, the San Antonio Master Plan Policies adopted May 29, 1997 recommended that the City review and strengthen urban corridor regulations; and

WHEREAS, on December 19, 2002 the City Council amended the Unified Development Code by adding a new section 35-339.01, Corridor Districts, which establishes overlay zoning districts for gateway, metropolitan, and preservation corridors; and

WHEREAS, City Council is supportive of comprehensive, proactive efforts to rezone property in order to validate the legitimacy of existing uses rendered nonconforming due to the adoption of the 2001 Unified Development Code, correct historical zoning inconsistencies which deteriorate the integrity of residential neighborhoods and commercial corridors, and implement an adopted land use element of the Comprehensive Plan; **NOW THEREFORE**;

BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF SAN ANTONIO:

SECTION 1. The City Council hereby directs City Staff to undertake land use and other background studies necessary to recommend to the City Council 1) a Corridor Overlay District

SG/cia
03/18/2010
32

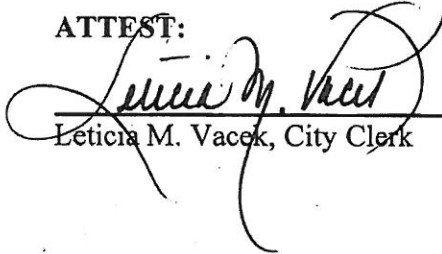
along both sides of South Presa Street between IH-10 to the north and Southeast Loop 410 to the south in City Council District 3, and 2) a comprehensive rezoning of properties generally located within the boundaries of the proposed South Preas Street Corridor Overlay District.

SECTION 2. This Resolution shall be effective on March 28, 2010.

PASSED AND APPROVED this 18th day of March, 2010.

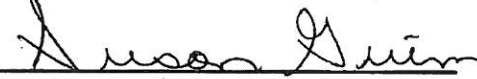

M A Y O R
Julián Castro

ATTEST:

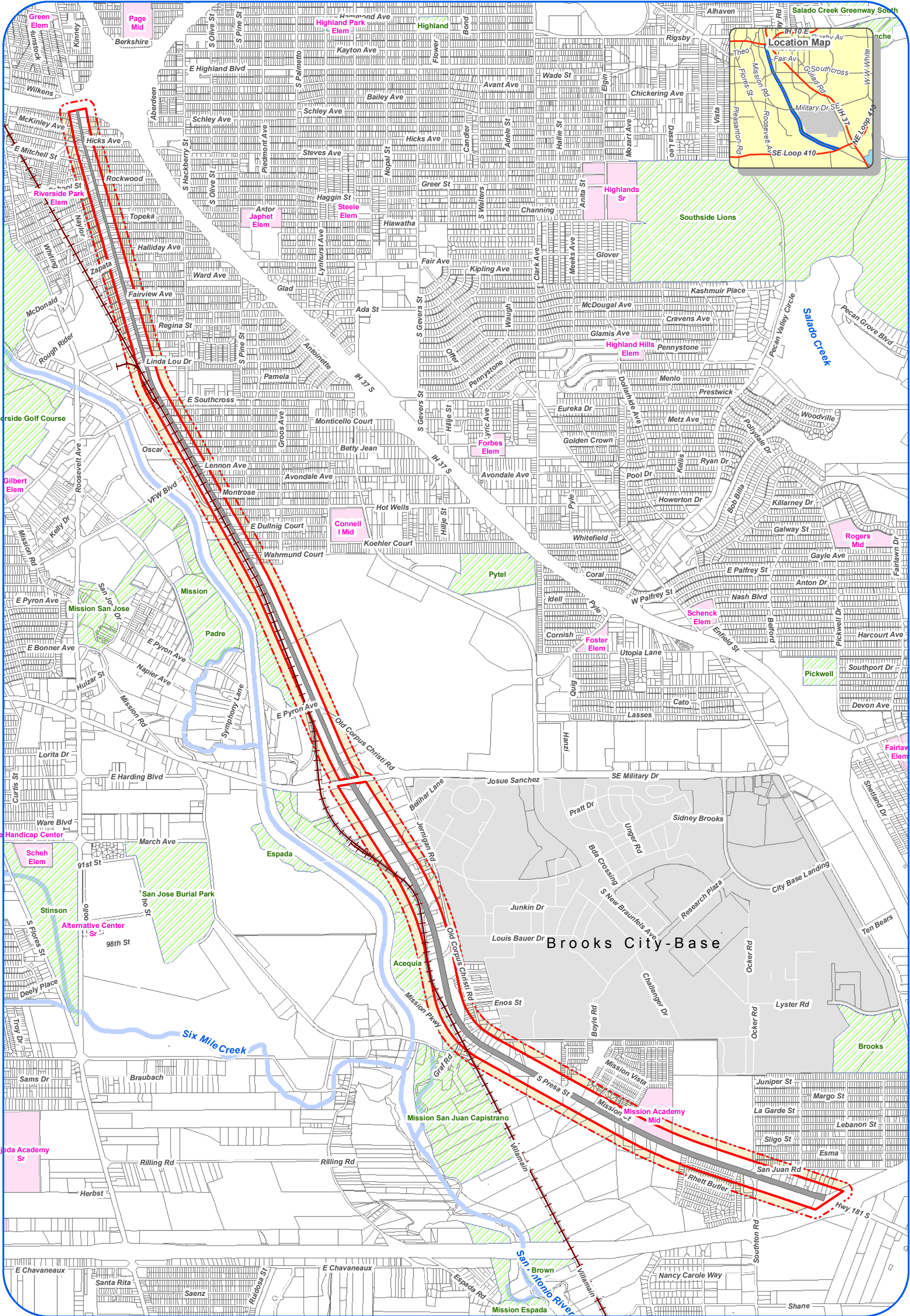


Leticia M. Vacek, City Clerk

APPROVED AS TO FORM:



for Michael Bernard, City Attorney



Zoning Case Notification Plan

**South Presa Metropolitan Corridor (MC-2)
Case Z-2011-077**

Council District 3

Subject Property Legal Description(s): Property located within 200 feet of the centerline of South Presa Street between IH-10 and Southeast Military and within 300 feet of the centerline of South Presa Street between Southeast Military and Loop 410.

Note: All Current and Requested Zoning includes AHOD Zoning (Airport Hazard Overlay District).

Legend

- Subject Property (Red solid line)
- 200' Notification Buffer (Red dashed line)
- Requested Zoning Change "MC-2" applied to Current Zoning (Red solid line)
- Scale: 1" approx. = 2,000 ft



Development Services Dept
City of San Antonio
(03/17/2011 - E Hart)



City of San Antonio

Development Services Department

Staff Report

To: Zoning Commission

Zoning Case #: Z2011077

Hearing Date: April 5, 2011

Property Owner: Multiple property owners

Applicant: City of San Antonio

Representative: Rebecca Paskos

Location: Property located within 200 feet of the centerline of South Presa Street between IH-10 and Southeast Military Drive and within 300 feet of the centerline of South Presa Street between Southeast Military Drive and Loop 410.

Legal Description: Multiple legal descriptions

Total Acreage: 365.65

City Council District: 3

Case Manager: Rebecca Paskos, Senior Planner

Case History: This is the first public hearing for this zoning request.

Proposed Zoning Change

Current Zoning: Multiple zoning districts to

Requested Zoning: Multiple zoning districts with the adoption and application of the South Presa Metropolitan Corridor District (MC-2)

Procedural Requirements

The request was publicly noticed in accordance with Section 403 of the Unified Development Code (UDC). The application was published in The Daily Commercial Recorder, an official newspaper of general circulation on March 18, 2011. Notices were sent to affected property owners, property owners and registered neighborhood associations within two hundred (200) feet of the subject property, planning team members and applicable agencies on March 23, 2011. Additionally, notice of this meeting was posted at city hall and on the city's internet website on April 1, 2011, in accordance with Section 551.043(a) of the Texas Government Code.

Notices Mailed

Number of Affected Properties: 555

Number of Properties within 200 feet: 757

Neighborhood Associations: Roosevelt Park, Riverside South, Mission San Jose, East Pyron/Symphony Lane, and Hot Wells

Planning Team Members: 16 – South Central San Antonio Community Plan; 26 – South Presa Corridor Planning Team

Applicable Agencies: Stinson Airport Vicinity stakeholders, National Park Service, San Antonio River Authority, San Antonio Independent School District, Office of Historic Preservation, and Aviation Department

Adjacent Zoning and Land Uses

Direction	Current Base Zoning	Current Land Uses
North	“R-4” Residential Single-Family District, “C-2” Commercial District, and “I-1” General Industrial District	Single family residences, senior center, and various commercial uses
East	“NP-10” Neighborhood Preservation District, “R-4” Residential Single-Family District, “R-6 H” Residential Single-Family Mission Historic District, “R-6 H RIO-6” Residential Single-Family Mission Historic River Improvement Overlay District-6, “MF-33” Multi-Family District, “MF-33 RIO-5” Multi-Family River Improvement Overlay District-5, “C-2” Commercial District, “C-2 RIO-5” Commercial District River Improvement Overlay District-5, “C-3” General Commercial District, “C-3 RIO-5” General Commercial District River Improvement Overlay District-5, “I-1” General Industrial District, “MR” Military Reservation District, and “MR H” Military Reservation Mission Historic District	Single family residences, multi-family residences, Brooks City Base, various commercial and industrial uses, and Texas Engineering Extension
South	“NP-10 H” Neighborhood Preservation Mission Historic District, “RM-4 H” Residential Mixed Mission Historic District, and “UD” Urban Development District	Single family residences, San Antonio River, railroad right-of-way, vacant property, and industrial uses
West	“NP-10 H” Neighborhood Preservation Mission Historic District, “R-4” Residential Single-Family, “R-5” Residential Single-Family, “R-6” Residential Single-Family, “R-6 H RIO-5” Residential Single-Family Mission Historic River Improvement Overlay District-5, “R-6 H RIO-6” Residential Single-Family Mission Historic River Improvement Overlay District-6, “MF-33 H RIO-5” Multi-Family Mission Historic River Improvement Overlay District-5, “C-2” Commercial District, “C-3” General Commercial District, “C-3 H RIO-5” General Commercial Mission Historic River Improvement Overlay District-5, “I-1” General Industrial District, “I-1 H RIO-5” General Industrial Mission Historic River Improvement Overlay District-5, “I-1 H RIO-6” General Industrial Mission Historic River Improvement Overlay District-6, and “I-2 H RIO-6” Heavy Industrial Mission Historic River Improvement Overlay District-6	Single family residences, parkland, railroad right-of-way, San Antonio River, and industrial uses

Overlay and Special District Information: All surrounding properties carry the "AHOD" Airport Hazard Overlay District, due to their proximity to an airport or approach path. The "AHOD" does not restrict permitted uses, but can require additional review of construction plans by both the Development Services Department and the Federal Aviation Administration.

Several properties lie within the “RIO-5” River Improvement Overlay District-5 and “RIO-6” River Improvement Overlay District-6 due to their proximity to the San Antonio River. The purpose of these districts is to establish regulations to protect, preserve, and enhance the San Antonio River and its improvements by establishing design standards and guidelines. Building permits within these overlay districts require a certificate of appropriateness.

Several properties are also within the “H” Mission Historic District. One property, 3621 S. Presa, is identified as “HS” Historic Significant Overlay District. In June 2010, the “HL” Historic Landmark Overlay District was created as a consolidation of the previous “HS” Historic Significant Overlay District and “HE” Historic Exceptional Overlay District. Historic Landmarks are resources that have been officially recognized by the City of San Antonio for their outstanding historical, cultural, architectural, or archaeological significance.

Transportation

Thoroughfare	Existing Character	Proposed Changes
South Presa	Secondary Arterial Type A, 1 to 2 lanes in each direction; Secondary Arterial Type B, 1 lane in each direction	Rehabilitation – Ward to Hot Wells (2015)
Southeast Military	Primary Arterial Type A, 3 lanes in each direction and a turn lane	None known
East Southcross	Secondary Arterial Type A, 2 lanes in each direction	None known
Fair	Secondary Arterial Type B, 1 lane in each direction	None known
Steves	Secondary Arterial Type B, 2 lanes in each direction	None known
Hot Wells	Secondary Arterial Type B, 1 lane in each direction	None known
Southton	Secondary Arterial Type A, 1 lane in each direction	None known

Public Transit: VIA bus line 36 runs along South Presa Street with multiple bus stops along the corridor.

Traffic Impact: TIA requirement is waived for City Council initiated cases.

Parking Information: Parking requirements are based on individual use.

Staff Analysis and Recommendation: Approval

Topography: The property does not include any abnormal physical features. Portions of the property are within a flood plain. Trees, grassland and shrubs are more prevalent toward the southern portion of the property and abundant.

Property History: From north to the south, the character of the proposed South Presa Metropolitan Corridor transitions from an urban character with smaller buildings placed closer together that promote walkability to a more rural character with buildings set farther apart. The proposed South Presa Metropolitan Corridor is located near many of the historic sites along the San Antonio River including burial grounds, acequias, and San Juan Capistrano Mission. The portion of the corridor north of Ada Street and Webb was part of the area known as the original thirty-six square miles of the City. The remainder of the corridor was annexed in three annexations from 1944 to 1957. The area north of Southeast Military Drive was primarily built between the 1920s and 1950s. In the northern portion of the corridor, there are some structures that are over one hundred years old including the State Hospital property that was established just north of Southeast Military Drive along Presa Street in 1892. South of Southeast Military Drive there remains several large vacant parcels. Several of the vacant parcels are owned by the National Park Service, San Antonio River Authority, and the City of San Antonio. The majority of areas south of Southeast Military Drive that were developed were developed between the 1970s to the present day. Most of the recent developments have been single family homes on four thousand square foot lots near the newly built Mission Academy. Improvements to the San Antonio River as part of the Historic Mission Reach, development at Brooks City Base, multiple privately owned

and funded mixed-use developments, and other catalytic projects in the area including the Stinson Airport expansion are expected to drive redevelopment along South Presa Street.

Criteria for Review: According to Section 35-421, zoning amendments shall be based on the approval criteria below.

1. Consistency:

The subject property is located within the South Central San Antonio Community Plan and the Stinson Airport Vicinity Land Use Plan. The South Central San Antonio Community Plan recommended improving the quality of the commercial corridors. The Stinson Airport Vicinity Land Use Plan recommended corridor improvements to enhance the area's image and pedestrian accessibility.

2. Adverse Impacts on Neighboring Lands:

Denial of the zoning request could lead to future development that is out of character of the established commercial corridor that may distract from historic and community resources.

3. Suitability as Presently Zoned:

This zoning change request does not alter the underlying base zoning. The current base zoning does not provide for design standards and guidelines that will protect the unique character and historic context of South Presa Street.

4. Health, Safety and Welfare:

Staff has found no indication of likely adverse effects on the public health, safety, or welfare due to this request. Staff believes that the implementation of the South Presa Metropolitan Corridor Overlay District would enhance public safety and welfare through environmental design to prevent crime as well as encourage tree preservation, use of native plants, and low impact design and best management practices for storm water management.

5. Public Policy:

South Central San Antonio Community Plan was adopted in 1999 and updated in 2005. The Stinson Airport Vicinity Land Use Plan was adopted in 2009. Both plans were adopted as components of the City's Master Plan. Both plans support improvements for South Presa Street.

6. Size of Tract:

Varies

7. Other Factors:

None.

A RESOLUTION 2010-03-18-0018R

DIRECTING PLANNING AND DEVELOPMENT SERVICES DEPARTMENT STAFF TO UNDERTAKE LAND USE AND OTHER BACKGROUND STUDIES NECESSARY TO RECOMMEND TO THE CITY COUNCIL 1) A CORRIDOR OVERLAY DISTRICT ALONG BOTH SIDES OF SOUTH PRESA STREET BETWEEN IH-10 TO THE NORTH AND SE LOOP 410 TO THE SOUTH AND 2) A COMPREHENSIVE REZONING OF PROPERTIES GENERALLY LOCATED WITHIN THE BOUNDARIES OF THE PROPOSED SOUTH PRESA STREET CORRIDOR OVERLAY DISTRICT AS RECOMMENDED BY COUNCILWOMAN RAMOS, DISTRICT 3.

* * * * *

WHEREAS, the South Presa Street Corridor abuts, traverses, and links designated historic landmarks, historic districts, and the San Antonio River; and

WHEREAS, the South Presa Street Corridor is an amenity and asset of great value to the City, its inhabitants, its visitors and its economy; and

WHEREAS, the South Central Community Plan, adopted August 19, 1999 as a component of the City's Master Plan and updated October 26, 2005, identified the need to address incompatible land uses and enhance design standards along the commercial corridors including South Presa Street; and

WHEREAS, the San Antonio Master Plan Policies adopted May 29, 1997 recommended that the City review and strengthen urban corridor regulations; and

WHEREAS, on December 19, 2002 the City Council amended the Unified Development Code by adding a new section 35-339.01, Corridor Districts, which establishes overlay zoning districts for gateway, metropolitan, and preservation corridors; and

WHEREAS, City Council is supportive of comprehensive, proactive efforts to rezone property in order to validate the legitimacy of existing uses rendered nonconforming due to the adoption of the 2001 Unified Development Code, correct historical zoning inconsistencies which deteriorate the integrity of residential neighborhoods and commercial corridors, and implement an adopted land use element of the Comprehensive Plan; **NOW THEREFORE**;

BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF SAN ANTONIO:

SECTION 1. The City Council hereby directs City Staff to undertake land use and other background studies necessary to recommend to the City Council 1) a Corridor Overlay District

SG/cia
03/18/2010
32

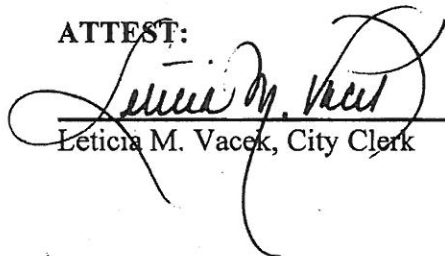
along both sides of South Presa Street between IH-10 to the north and Southeast Loop 410 to the south in City Council District 3, and 2) a comprehensive rezoning of properties generally located within the boundaries of the proposed South Preas Street Corridor Overlay District.

SECTION 2. This Resolution shall be effective on March 28, 2010.

PASSED AND APPROVED this 18th day of March, 2010.



M A Y O R
Julián Castro

ATTEST:



Leticia M. Vacek, City Clerk

APPROVED AS TO FORM:



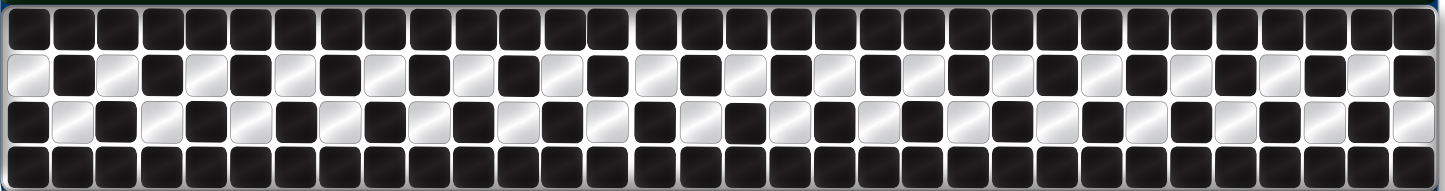
for Michael Bernard, City Attorney

SOUTH PRESA METROPOLITAN CORRIDOR

DESIGN STANDARDS MANUAL



**CITY OF SAN ANTONIO
MARCH 15, 2011**



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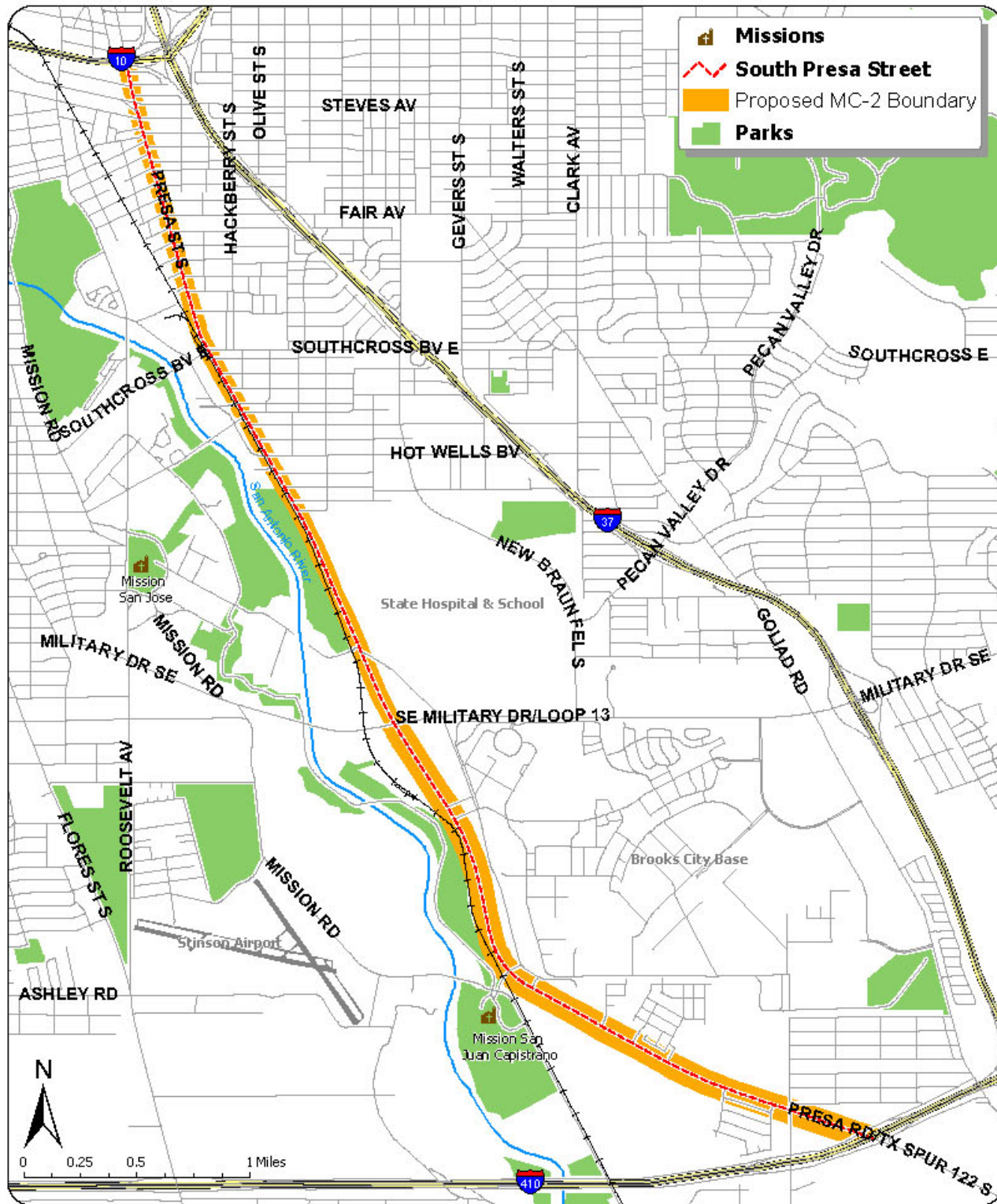
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BOUNDARY MAP



Data Source: City of San Antonio,
Bexar Metro 911, Bexar Appraisal District
Author: Rebecca Pastos
Date: 11 March 2011
Map File Location: K:\Neighborhoods\
OVERLAY DISTRICTS\South Presa\Maps
Filename: South Presa\OD_Boundaries_20110311

South Presa Metropolitan Corridor Overlay District Boundaries

EXECUTIVE SUMMARY

BASIC STATISTICS

Length:	6.17 miles along South Presa Street
Acreage:	Approximately 371 acres
Parcels:	Approximately 566
South Presa Street Major Thoroughfare Designation:	Secondary Arterial Type B from IH-10 to SE Military and Secondary Arterial Type A from SE Military to Loop 410
Affected Area:	Properties within 200 feet from the centerline of South Presa Street from IH-10 to SE Military; and properties within 300 feet from the centerline of South Presa Street from SE Military to Loop 410
Existing Overlay Zoning:	"RIO-5" River Improvement Overlay District-5, "RIO-6" River Improvement Overlay District-6, "H" Mission Historic District, "HS" Historic Significant, "HL" Historic Landmark, and "AHOD" Airport Hazard Overlay District

INITIATION AND ADOPTION

The South Presa Metropolitan Corridor designation process was initiated by City Council Resolution 2010-03-18-0018R adopted by City Council on March 18, 2010. Two public hearings were scheduled in front of the Zoning Commission for recommendation to the City Council in March and April 2011. One public hearing for consideration of adopting the South Presa Metropolitan Corridor was held before City Council in April 2011. City Council adopted the South Presa Metropolitan Corridor on April 21, 2011.

PUBLIC INVOLVEMENT

Two initial public meetings were held in September and October 2010 to invite the public to learn about the planning program for the South Presa Metropolitan Corridor and to become part of the Planning Team. The Planning Team consisted of twenty-six members representative of property owners, business owners, residents, neighborhood associations, community organizations, and area non-profit organizations. Five Planning Team Work Sessions were held from November 2010 through February 2011. Midway through the planning process, a third public meeting was held to inform the public about the work of the Planning Team thus far. Two public meetings in an open house format were held in February 2011.

DESIGNATION CRITERIA

In order to be designated as a Metropolitan Corridor, South Presa must meet the criteria detailed in the Unified Development Code (UDC), §35-339.01. In meeting the first criteria for designation, the Major Thoroughfare Plan identifies South Presa from IH-10 to SE Military as a secondary arterial type B and from SE Military to Loop 410 as a secondary arterial type A. South Presa is located near many of the historic sites along the San Antonio River including burial grounds, colonial acequias, and San Juan

Capistrano Mission. Moreover, the improvements to the San Antonio River as part of the Historic Mission Reach of the River Improvements Project, multiple privately owned and funded mixed-use developments, and other catalytic projects in the area including the Stinson Airport expansion are expected to drive redevelopment along South Presa.

APPLICABILITY

- The width of the South Presa Metropolitan Corridor (MC-2) varies depending on street type designation in the Major Thoroughfare Plan.
 - From IH-10 to Southeast Military, South Presa Street is classified as a Secondary Arterial Type B therefore the corridor overlay district is two hundred (200) feet from either side of the centerline of South Presa Street.
 - From Southeast Military to Loop 410, South Presa Street is classified as a Secondary Arterial Type A therefore the corridor overlay district is three hundred (300) feet from either side of the centerline of South Presa Street.
- The South Presa Metropolitan Corridor (MC-2) design standards shall not apply to single family residential uses as long as the use is maintained as a single family residential use.
- For properties located within the boundaries of the South Presa Metropolitan Corridor (MC-2) and also located within a River Improvement Overlay (RIO) District, the RIO standards shall take precedence.
- Projects located within the boundaries of a historic district (H) or designated as historic significant (HS), historic exceptional (HE), or historic landmark (HL) shall require approval by the Historic Preservation Officer (HPO).

DESIGN STANDARDS

SUMMARY TABLE

ELEMENT	LOCATION		STANDARDS (MANDATORY)	GUIDELINES (VOLUNTARY)	SUMMARY
	NORTH OF SE MILITARY ¹	SOUTH OF SE MILITARY ²			
A. BUILDING SETBACK	■		■		A.1. The maximum front setback is 35 feet. (p. 11)
		■	■		A.2. The minimum front setback is 15 feet. (p. 11)
B. SITING, GRADING	■	■		■	B.1. The natural topography should be respected and low impact development practices be implemented. (p. 11)
C. NATURAL AREA (BUFFERYARDS)	■	■	■		C.1. Preserve all healthy or non-diseased existing vegetation within the street yard. (p. 11)
	■	■		■	C.2. Trails/sidewalks may be located within the bufferyard. (p. 11)
	■	■		■	C.3. Boulders may be part of the landscape design. (p. 11)
		■	■		C.4. The front bufferyard must be type C. (p. 11)
		■	■		C.5. Direct view of all structures, parking lots, or loading areas from the street must be obscured. (p. 11)
D. LANDSCAPING	■	■	■		D.1. Plants utilized to fulfill the landscaping requirements must be selected from the list of native plants. (p. 12)
	■	■	■		D.2. The original path of Spanish colonial acequias shall be incorporated as a landscape feature. (p. 12)

ELEMENT	LOCATION		STANDARDS (MANDATORY)	GUIDELINES (VOLUNTARY)	SUMMARY
	NORTH OF SE MILITARY ¹	SOUTH OF SE MILITARY ²			
D. LANDSCAPING (CONT.)	■	■	■		D.3 Storm water retention/detention facilities located in the street yard shall be integrated as a landscape feature. (p. 12)
	■	■	■		D.4. All outdoor seating areas shall include landscaping features. (p. 12)
	■	■	■		D.5. Water features shall include a maintenance plan and use recycled water. (p. 12)
	■		■		D.6. Landscape plans shall earn a minimum of 25 points for elective requirements. (p. 12)
	■			■	D.7. Payment to the tree mitigation fund is an acceptable form of mitigation for tree removal. (p. 12)
		■	■		D.8. Landscape plans shall earn a minimum of 85 points for elective requirements. (p. 12)
		■	■		D.9. Payment to the tree mitigation fund is not an acceptable form of mitigation for tree removal. (p. 12)
		■	■		D.10. A planting strip is required on the street wall façade for buildings that do not abut a bufferyard and have a minimum 35 foot deep street yard. (p. 12)
E. LIGHTING	■	■	■		E.1. Exterior lighting fixtures shall include a cutoff angle of 90 degrees or less. (p. 12)
	■	■	■		E.2. Fixtures utilized to illuminate building exteriors or details shall include a cutoff angle of 90 degrees or less. (p. 13)
	■	■	■		E.3. Up lighting is permitted under a canopy or awning. (p. 13)

ELEMENT	LOCATION		STANDARDS (MANDATORY)	GUIDELINES (VOLUNTARY)	SUMMARY
	NORTH OF SE MILITARY¹	SOUTH OF SE MILITARY²			
E. LIGHTING (CONT.)	■	■	■		E.4. Exposed neon lighting is prohibited except if used to restore or repair an existing sign or lighting fixture. (p. 13)
F. DRIVEWAY SIZE AND SIDEWALKS	■	■	■		F.1. A continuous pedestrian circulation system is required. (p. 13)
	■	■	■		F.2. Reduce the number of driveways and/ or the width of driveways. (p. 14)
G. PARKING AND OFF-STREET LOADING	■	■	■		G.1. A single row of parking is allowed in the front yard. (p. 14)
	■	■	■		G.2. Parking areas must be screened. (p. 14)
	■	■	■		G.3. Parking areas in the rear or side yard with 10 or more spaces must include landscaped areas (pods). (p. 15)
	■	■	■		G.4. Loading docks are prohibited on the street wall facade. Loading areas located on the side of a structure shall be screened. (p. 15)
	■		■		G.5. Surface parking lots with 10 or more parking spaces shall include canopy trees which shade a minimum of 25% of the parking lot. (p. 15)
		■	■		G.6. Surface parking lots with 10 or more parking spaces shall include canopy trees which shade a minimum of 35% of any individual parking lot. (p. 16)

ELEMENT	LOCATION		STANDARDS (MANDATORY)	GUIDELINES (VOLUNTARY)	SUMMARY
	NORTH OF SE MILITARY ¹	SOUTH OF SE MILITARY ²			
H. ON-PREMISES FREE STANDING SIGNS	■	■	■		H.1. Maximum message area and height are defined. (p. 16)
	■	■	■		H.2. Bases and supports for freestanding signage shall be clad in a masonry finish. (p. 16)
	■	■	■		H.3. The base of the sign shall be landscaped. (p. 16)
I. ON-PREMISES ATTACHED SIGNS	■	■	■		I.1. On-premises attached signs are permitted subject to restrictions. (p. 16)
J. OFF-PREMISES SIGNS	■	■	■		J.1. Installation of new off-premises signs is not permitted. (p. 17)
K. BUILDING MATERIALS	■	■	■		K.1. Primary building materials are defined. (p. 17)
	■	■	■		K.2. Materials not listed as a primary material may be used as an accent material on up to 25% of any facade. (p. 18)
	■	■	■	■	K.3. Earthtone colors are recommended; neon or fluorescent colors may not exceed 25% of the street wall facade. (p. 18)
	■	■	■	■	K.4. Limited use of security bars and gates. (p. 18)
	■	■	■		K.5. Metal overhead doors within the street wall facade are prohibited. (p. 18)
	■	■	■		K.6. Permitted materials for overhead doors located on the street wall facade are defined. (p. 18)
L. FENCES/WALLS	■	■	■		L.1. Permitted materials for fences/walls are defined. (p. 18)
	■	■	■		L.2. Use of chain link fencing is limited. (p. 18)

ELEMENT	LOCATION		STANDARDS (MANDATORY)	GUIDELINES (VOLUNTARY)	SUMMARY
	NORTH OF SE MILITARY ¹	SOUTH OF SE MILITARY ²			
L. FENCES/WALLS (CONT.)	■	■	■		L.3. Fences/walls within the street wall facade must be screened. (p. 18)
	■	■	■	■	L.4. If painted, pastel or earthtone colors are preferred. Neon or fluorescent colors may not exceed 25% of the area of the fence/wall. (p. 18)
M. SCREENING	■	■	■		M.1. Outside storage and service areas, storage tanks, refuse storage areas, dumpsters, compactors, and air conditioning/ heating equipment, shall be screened. (p. 19)
	■	■	■		M.2. Parking structures shall be screened. (p. 19)
N. UTILITIES	■	■	■		N.1. Utility boxes, utility pillars, utility cabinets, and other utility equipment including backflow prevention equipment shall be screened. (p. 19)
O. SATELLITE DISHES AND COMPONENTS	■	■	■		O.1. Satellite dishes and components shall be screened. (p. 20)
P. SOLAR PANELS AND COMPONENTS	■	■	■		P.1. Solar systems and components shall be screened. (p. 20)
<p>1 North of SE Military is the northern portion of the overlay bounded by IH-10 to the north and SE Military to the south and is two hundred (200) feet from either side of the centerline of South Presa Street.</p> <p>2 South of SE Military is the southern portion of the overlay bounded by SE Military to the north and Loop 410 to the south and is three hundred (300) feet from either side of the centerline of South Presa Street.</p>					

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DESIGN STANDARDS

A. BUILDING SETBACK

NORTH OF SE MILITARY

- A.1. The maximum front setback north of SE Military shall be thirty-five (35) feet.

SOUTH OF SE MILITARY

- A.2. The minimum front setback south of SE Military shall be fifteen (15) feet.



An example of a zero foot setback.

B. SITING, GRADING

GENERAL TO ALL

- B.1. It is recommended that the natural topography of the site be respected to the maximum extent possible and low impact development practices be implemented.

C. NATURAL AREAS (BUFFERYARDS)

GENERAL TO ALL

- C.1. All healthy or non-diseased existing vegetation within the street yard shall be preserved, unless the removal of vegetation is necessary to provide utilities or to provide pedestrian and/or vehicular access to the site. Pedestrian access to the site should be oriented and designed to avoid all healthy or non-diseased existing vegetation, whenever possible.
- Non-native, invasive tree species as specified in UDC §35-523 and non-native and/ or invasive understory plants shall not be subject to this requirement.
 - Preserved trees and understory within this area shall be eligible to obtain landscaping points for elective criteria in accordance with UDC §35-511 and count toward the tree preservation and canopy requirements in UDC §35-523.
- C.2. Trails/sidewalks may be located within the bufferyard.
- C.3. Boulders may be part of the landscape design.



An example of tree preservation, use of native plants, and use of boulders in the landscape design.



An example of the use of a trail within the bufferyard.

SOUTH OF SE MILITARY

- C.4. The front bufferyard south of SE Military shall be type C, fifteen (15) feet, as specified in UDC Table 35-510-2.
- C.5. Tree canopy and understory south of SE Military shall be placed in such a manner to obscure direct view of all structures, parking lots, or loading areas on the street wall facade.

D. LANDSCAPING

GENERAL TO ALL

- D.1. Plants utilized to fulfill the landscaping requirements shall be selected from the list of native Texas plants in the San Antonio Recommended Plant List found in the UDC Appendix E.
- D.2. Where archeological evidence indicates a site contains or has contained a Spanish colonial acequia, the original path of the acequia shall be incorporated as a landscape feature of the site by including it as part of the landscape design.
- D.3. If located within the street yard, storm water retention/ detention facilities shall be integrated as a landscape feature using native Texas plants in the San Antonio Recommended Plant List found in UDC Appendix E.
- D.4. All outdoor seating areas shall include landscaping features.
- D.5. Water features such as fountains are encouraged. If water features are included, site design details shall include a maintenance plan and use recycled water.



Storm water retention facility that is integrated as part of the landscape feature near Gold Canyon Road.

NORTH OF SE MILITARY

- D.6. In addition to the mandatory landscaping requirements established by UDC §35-511, landscape plans north of SE Military shall earn a minimum of twenty-five (25) points for elective requirements. Points are awarded based on the criteria specified in UDC §35-511.
- D.7. If mitigation is required to compensate for removal of trees pursuant to UDC §35-523, payment to the tree mitigation fund is an acceptable form of mitigation.

SOUTH OF SE MILITARY

- D.8. In addition to the mandatory landscaping requirements established by UDC §35-511, landscape plans south of SE Military shall earn a minimum of eighty-five (85) points for elective requirements. Points are awarded based on the criteria specified in UDC §35-511.
- D.9. If mitigation is required to compensate for removal of trees pursuant to UDC 35-523, payment to the tree mitigation fund is not an acceptable form of mitigation south of SE Military.
- D.10. Street wall building facades south of SE Military that do not abut a bufferyard and have a minimum thirty-five (35) foot deep street yard shall have a minimum three (3) foot wide planting strip along no less than thirty (30) percent of the street wall façade.

E. LIGHTING

GENERAL TO ALL

- E.1. Exterior lighting fixtures for parking lots, walkways, and building entrances shall include a cutoff angle of ninety (90) degrees or less and be positioned so as to not emit light above the horizontal plane. Any structural part of the fixture providing this cut-off angle shall be permanently affixed.



Example of a downward lighting fixture.

- E.2. Building exteriors and architectural details may be illuminated, but only such that the light generated is directed at a downward angle toward the surface to be illuminated (down lighting). Fixtures utilized to illuminate building exteriors or details shall include a cutoff angle of ninety (90) degrees or less.
- E.3. A fixture that allows for indirect up light is permitted under a canopy or awning provided that the canopy or awning is opaque and no portion of the lamp or any part of the lens or diffuser is visible from beyond the canopy or awning and no up-light is emitted beyond the canopy.
- E.4. Exposed neon lighting is prohibited except if used to restore or repair an existing sign or lighting fixture.

F. DRIVEWAY SIZE AND SIDEWALKS

GENERAL TO ALL

- F.1. A minimum four (4)-foot wide continuous pedestrian circulation system shall connect all publicly accessible buildings within a site to the right-of-way sidewalk abutting the site, all other publicly accessible buildings within the site, adjacent parcels, and any existing or planned pedestrian circulation systems to the site.
 - For developments with multiple vehicular ingress/ egress drives, there shall be at least one (1) pedestrian ingress/ egress connection from the right-of-way sidewalk to the pedestrian circulation system on the site for each vehicular ingress/ egress drive provided.
 - The pedestrian circulation system shall be constructed of an all weather surface for pedestrian walkways and access.
 - The pedestrian circulation system may meander to protect trees and understory and other landscape features.
 - The continuous pedestrian circulation system shall be separated from parking stalls, streets, and drives with a combination of landscaping and edging, and must be protected from vehicular traffic through the use of concrete curbs, wheel stops, or other permanent barrier.
 - The pedestrian circulation system may cross loading areas, streets, and drives, but in such cases shall include high visibility pavement markings and brick inlays or textured surface.
 - For lots with at least thirty-five (35) feet building setback, it is encouraged that a minimum thirty-five (35) percent of the pedestrian circulation system is shaded using shade trees and/or a canopy.



Examples of pedestrian circulation systems with shading, vegetation, and different materials.

F.2. Reduce the number of driveways and/ or the width of driveways on existing developed properties to minimize the potential for conflict between pedestrians, bicyclists, and vehicles.

- Driveway widths shall not exceed twenty-four (24) feet unless the driveway is located at a signalized intersection or is utilized as a shared driveway.
- Where shared driveways are utilized but are not at a signalized intersection, the driveway width shall not exceed thirty (30) feet.

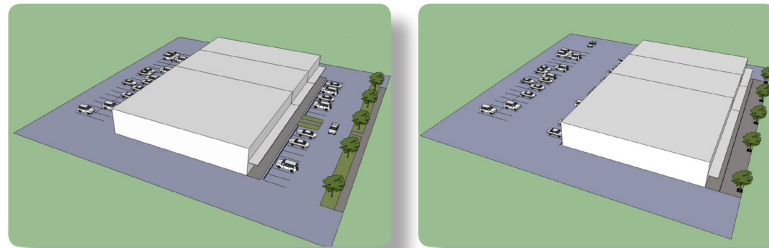


Example of a driveway with parking on the side.

G. PARKING AND OFF-STREET LOADING

GENERAL TO ALL

G.1. Parking areas within the front yard are discouraged. Where parking in the front yard is necessary to meet parking requirements, parking areas in the front yard shall be limited to a single row of parking placed between the façade of the structure and the front property line.



Examples of parking location. Single row of parking in the front and parking in the rear (left). No parking in the front with all parking placed in the rear (right).

G.2. Parking areas shall be screened from view of the public right-of-way and internal or private streets to a minimum height of three (3) feet by utilizing one of the methods described below:

- Landscaping that achieves the minimum height and forms an opaque visual barrier at maturity. Landscaping shall include native, drought tolerant, and heat resistant plants listed in the San Antonio Recommended Plant List found in the UDC Appendix E;
- Construction of a wall of approved building materials (See section K of this document). Landscaping should be installed in such a fashion that it blocks access to the wall in order to discourage graffiti. The screening wall may also be painted with a mural or other artwork intended to discourage graffiti; or



An example of parking lot screening utilizing dense vegetation.

- Installation of an earthen berm with dense landscaping. Landscaping shall include native, drought tolerant, and heat resistant plants listed in the San Antonio Recommended Plant List found in the UDC Appendix E.
- Tree and understory preservation may be utilized to satisfy the parking lot screening requirement and shall count toward the tree preservation and canopy requirements in UDC §35-523.
- Parking lot screening installed to satisfy this requirement shall be eligible to obtain landscaping points for elective criteria in accordance with UDC §35-511.

G.3. Parking areas with ten (10) or more spaces located in the side and rear yards shall be interrupted with landscaped areas (pods) at a ratio of sixteen point two (16.2) square feet landscaped area for every one (1) vehicle parking spot. Pods must be located and designed in such a fashion that parking lot massing is reduced.

- Pods may be used to meet the requirement for tree and understory preservation, parking lot canopy trees and/or pedestrian circulation system.
- Pods must be protected from vehicular traffic through the use of concrete curbs, wheel stops, or other permanent barriers.



Example of pods with curbs in a surface parking lot.



An example of a grouping of pods used for tree preservation and parking lot shading.

G.4. Loading docks are prohibited on the street wall facade. Loading areas located on the side of a structure shall be screened from view of the public right-of-way by an architectural building feature or other permanent structure.

NORTH OF SE MILITARY

G.5. Surface parking lots with ten (10) or more parking spaces shall include canopy trees, as defined in UDC Appendix A, which shade a minimum of twenty-five (25) percent of any individual parking lot.

- All canopy trees shall be eligible to obtain landscaping points for elective criteria in accordance with UDC §35-511.
- If mitigation is required to compensate for removal of trees pursuant to UDC §35-523, payment to the tree mitigation fund is an acceptable form of mitigation.



An example of canopy trees that shade a surface parking lot.

SOUTH OF SE MILITARY

- G.6. Surface parking lots with ten (10) or more parking spaces shall include canopy trees, as defined in UDC Appendix A, which shade a minimum of thirty-five (35) percent of any individual parking lot.
- All canopy trees shall be eligible to obtain landscaping points for elective criteria in accordance with UDC §35-511.
 - If mitigation is required to compensate for removal of trees pursuant to UDC §35-523, payment to the tree mitigation fund is not an acceptable form of mitigation south of SE Military.

H. ON-PREMISES FREE STANDING SIGNS

GENERAL TO ALL

- H.1. Maximum message area and height shall be:

	Maximum Message Area (Square Feet)		Maximum height (feet)	
North of SE Military	Single or dual tenants:	64	Single or dual tenants:	10
	Multiple tenants:	96	Multiple tenants:	15
South of SE Military	Single tenant:	65	Single tenant:	25
	Dual tenants:	150	Dual tenants:	30
	Multiple tenants:	200	Multiple tenants:	40

- H.2. Bases and supports for freestanding signage shall be clad in a masonry finish matching the primary structure.

- H.3. The base of the sign shall be landscaped to include native, drought tolerant, and heat resistant plants, and must be installed in such a fashion that it blocks access to the sign in order to discourage graffiti and vandalism.



Examples of a single tenant and multiple tenants free standing sign with landscaping around the base.

I. ON-PREMISES ATTACHED SIGNS

GENERAL TO ALL

- I.1. On-premises attached signs are permitted subject to the following restrictions:
- Two (2) attached signs per tenant with an exterior public entrance are permitted. Attached signs, cabinet sign, channel letters (raised or incised) and painted or flat sign including wall signs, canopy signs, awning signs, projecting blade signs and vertical projecting signs are permitted and shall be designed as integral elements of the building design.
 - Attached signs that project beyond the face of a building shall be located a minimum of eight (8) feet above grade.
 - The maximum cumulative attached sign area as a percentage of the area of the façade shall be 15%.



Examples of attached signs: channel letters (left) and vertical projecting sign (right).

J. OFF-PREMISES SIGNS

GENERAL TO ALL

- J.1. Installation of new off-premises signs shall not be permitted.

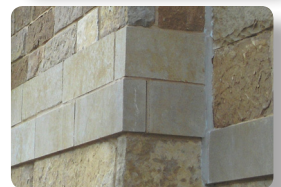


Example of an off-premises sign.

K. BUILDING MATERIALS

GENERAL TO ALL

- K.1. The following materials shall be permitted for use as primary building materials on all exterior street wall façades that are visible from the public right-of-way:
- Natural stone;
 - Cultured or cast stone;
 - Decorative concrete panel;
 - Architecturally finished block (i.e. burnished block, split faced block)
 - Architecturally finished pre-cast or poured in place concrete wall (i.e. tilt-up wall or tilt wall) that is profiled, sculpted or otherwise provides three dimensional interest;
 - Glass block;
 - Transparent glass;
 - Brick or brick veneer;
 - Stucco or EIFS;
 - Fiber cement siding (i.e. hardiplank); and/or
 - Tile



Examples of some approved materials for the primary street wall facade: brick, tile, and cultured stone.

- K.2. Materials not included in the above list of permitted primary materials may be used as an accent material on the street wall façade. The total area of all accent materials shall not exceed twenty-five (25) percent of the street wall façade.
- K.3. It is recommended that painted surfaces within the street wall façade be painted in pastel or earthtone colors. Neon or fluorescent painted surfaces greater than twenty-five (25) percent of the street wall façade shall not be permitted.
- K.4. Security bars and gates (burglar bars) are discouraged.
 - If security bars are utilized, they shall be mounted to the interior of the building and shall be integral to the architectural design of the building.
 - If security gates are utilized, they should be mounted on the interior of the building and fully retract so as not to be visible during business hours.
- K.5. Metal overhead doors within the street wall façade shall be prohibited.
- K.6. Overhead doors located on the street wall façade shall be constructed of transparent glass panels with wood or metal.

L. FENCES/WALLS

GENERAL TO ALL

- L.1. Fences/walls visible from the public right-of-way shall be constructed or fully clad with materials from the permitted building materials list (see section K of this document), ornamental metal, wrought iron, or welded wire.
- L.2. Chain link fences in the front yard are prohibited. Chain link fences in the side and the rear yard shall include vinyl coating or vinyl slats.
- L.3. Fences/walls within the street wall façade shall be screened with landscaping that includes native, drought tolerant, and heat resistant plants. Landscaping should be installed in such a fashion that it blocks access to the wall in order to discourage graffiti and vandalism.
- L.4. It is recommended that fences/walls if painted within the street wall façade be painted in pastel or earthtone colors. Neon or fluorescent painted surfaces greater than twenty-five (25) percent of the area of the fence/wall street façade are not permitted.



Example of a wall within the streetwall facade with landscaping.



Example of a chain link fence with vinyl slats.

M. SCREENING

GENERAL TO ALL

- M.1. Outside storage and service areas, storage tanks, refuse storage areas, dumpsters, compactors, and air conditioning/ heating equipment, shall be screened from view of public right-of-ways and all publicly accessible areas within the site.
- Screening may be achieved by construction of a solid walled enclosure with approved building materials (see section K of this document) with wooden or metal gates. Air conditioning/ heating equipment may be screened with dense vegetation to a minimum height of three (3) feet. Painted concrete masonry units (cinder blocks) and/or chain link fence with vinyl slats are prohibited materials for screening.
 - Sites that include multiple screening enclosures shall utilize a consistent design for all enclosures.



Examples of solid walled enclosures to screen a dumpster (left) and mechanical equipment (right).

- Roof top mounted equipment shall be screened from view of abutting public right-of-ways and private streets through the use of parapet walls, mansard roof forms, or other permanently affixed, solid, opaque building materials.
- M.2. Parking areas within parking structures shall be screened from view of public right-of-ways and private streets to a minimum height of five (5) feet. Screening may be achieved by dense landscaping, or berms and landscaping.

N. UTILITIES

GENERAL TO ALL

- N.1. Utility boxes, utility pillars, utility cabinets, and other utility equipment including backflow prevention equipment shall be screened from view of public right-of-ways. Screening may be achieved by construction of a solid walled enclosure with approved building materials (see section K of this document), evergreen plant materials with irrigation, or landscaped earthen berm.

O. SATELLITE DISHES AND COMPONENTS

GENERAL TO ALL

O.1. Satellite dishes and components shall be screened from view of public right-of-ways, all publicly accessible areas on site, and adjacent properties to the extent permitted by federal law. Screening may be achieved by:

- Construction of a solid walled enclosure with approved building materials (see section K of this document);
- Evergreen plant materials or landscaped earthen berm.
- Roof top mounted satellite dishes and components shall be screened through the use of parapet walls, mansard roof forms, or other permanently affixed, solid, opaque building materials (see section K of this document).



Example of un-screened satellite dishes not permitted in the corridor district.

P. SOLAR PANELS AND COMPONENTS

GENERAL TO ALL

P.1. Solar systems and components shall be screened from view of public right-of-ways. Screening may be achieved by:

- Construction of a solid walled enclosure with approved building materials (see section K of this document) and evergreen plant materials with irrigation, or landscaped earthen berm.
- Roof top mounted solar systems and components shall maintain a low profile, be screened through the use of parapet walls, mansard roof forms, or other permanently affixed, solid, opaque building materials (see section K of this document), and provide decorative supports.
- In lieu of screening, solar systems and components may be integrated into the design of the structure



Example of roof top mounted solar systems screened from the street view through parapet walls.



Example of solar panels that are integrated into the structural design.

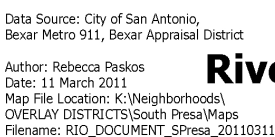
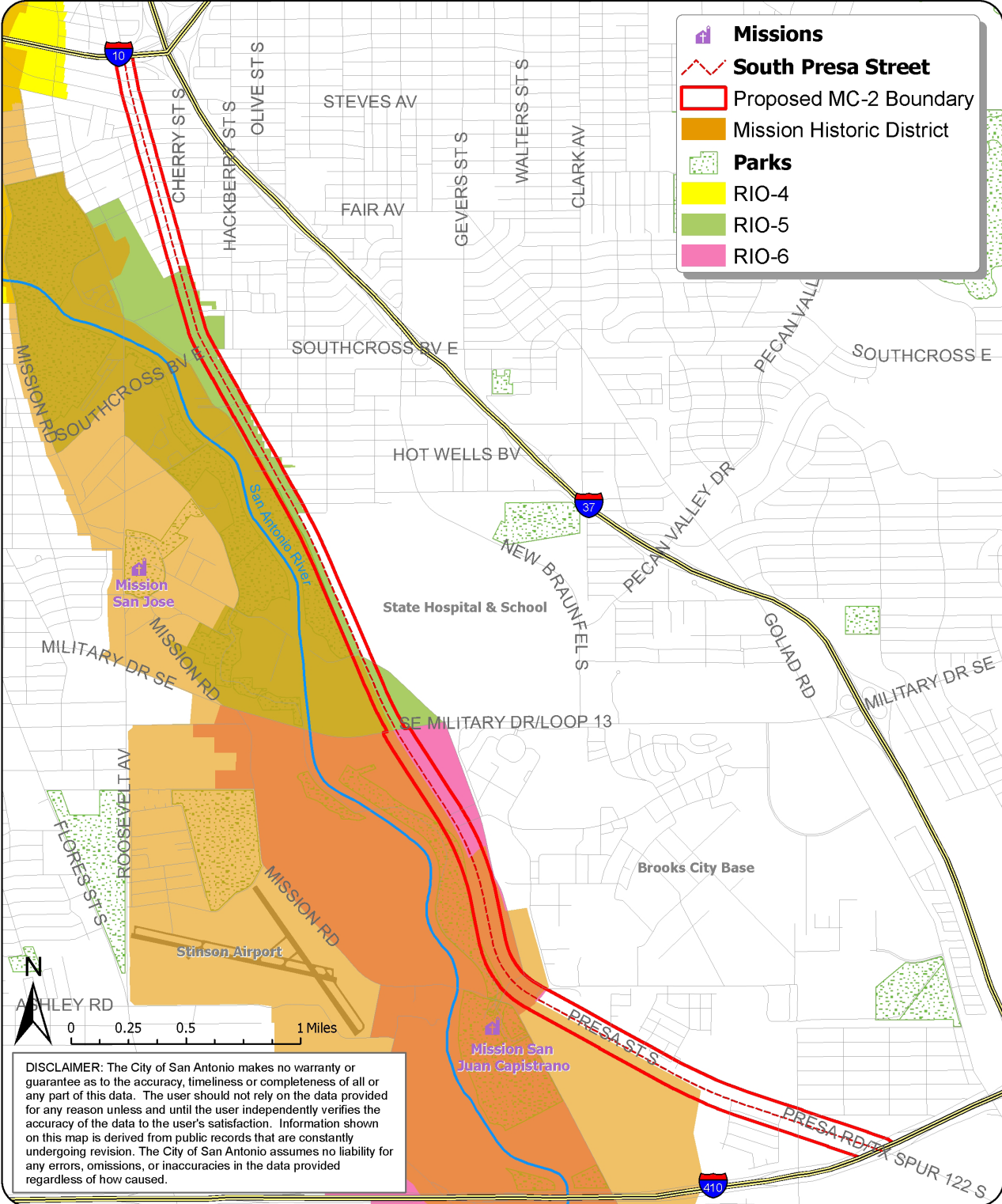
APPENDIX

A. Definitions.....	23
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A. DEFINITIONS

- All weather surface (pedestrian walkways and access) – All weather surfaces shall constitute poured concrete, hot laid asphalt, or tile/flagstone/brick/concrete block. The director of development services shall determine if other materials may fit within this category of surface. For pedestrian application, crushed granite, marble and rock slag may be considered an all weather surface.
- Earth tone colors – Colors that are predominant in the surrounding landscape including desert and woodlands and shall be low reflectance, subtle, or neutral colors. Earth tone colors shall not include primary colors, black, metallic, or fluorescent colors. Earth tone is a color scheme that draws from a color palette of browns, brownish-reds, brownish-oranges, tans, grays, and greens. The colors in an earth tone scheme are muted and flat and emulate the colors found in native soil, trees, and rocks.
- Native plants and trees – The species listed in Appendix E of the Unified Development Code, Chapter 35.
- Pedestrian circulation system – Improved trails, sidewalks, and/or crosswalks that facilitate pedestrian movement within a site.
- Publicly accessible – A building or area accessible to the public, including residents, customers, and employees. Maintenance, service, and outdoor storage yards/ areas are not considered publicly accessible if they are completely enclosed by solid walls so as to not be visible from beyond the maintenance, service, or outdoor storage yard/ area.
- Screen – Any material used to partially or completely block the view of and provides spatial separation from an adjacent property or right-of-way.
- Street yard – The area of a lot or parcel which lies between the property line along a dedicated street and the actual wall line of the building or, if no building exists, to the rear property line. Such building wall lines extend outward from the corners of the buildings.
- Street wall façade – That portion or portions of a wall or any permanent structure that is visible from and oriented parallel to a dedicated public right-of-way. For a structure that is not oriented parallel to the right-of-way, the street wall façade shall include all of the facades visible from the right-of-way and oriented at an angle greater than zero degrees but less than sixty (60) degrees to the right-of-way.
- Unified Development Code (UDC) - Chapter 35 of the Code of Ordinances of the City of San Antonio. The UDC establishes standards and procedures for new development in the city. The purpose of the UDC is to implement the city's adopted masterplan and to provide clear rules about what is expected of applicants in order to gain approval to develop land in the city.
- Understory – Assemblages of natural low level woody, herbaceous, and ground cover species.



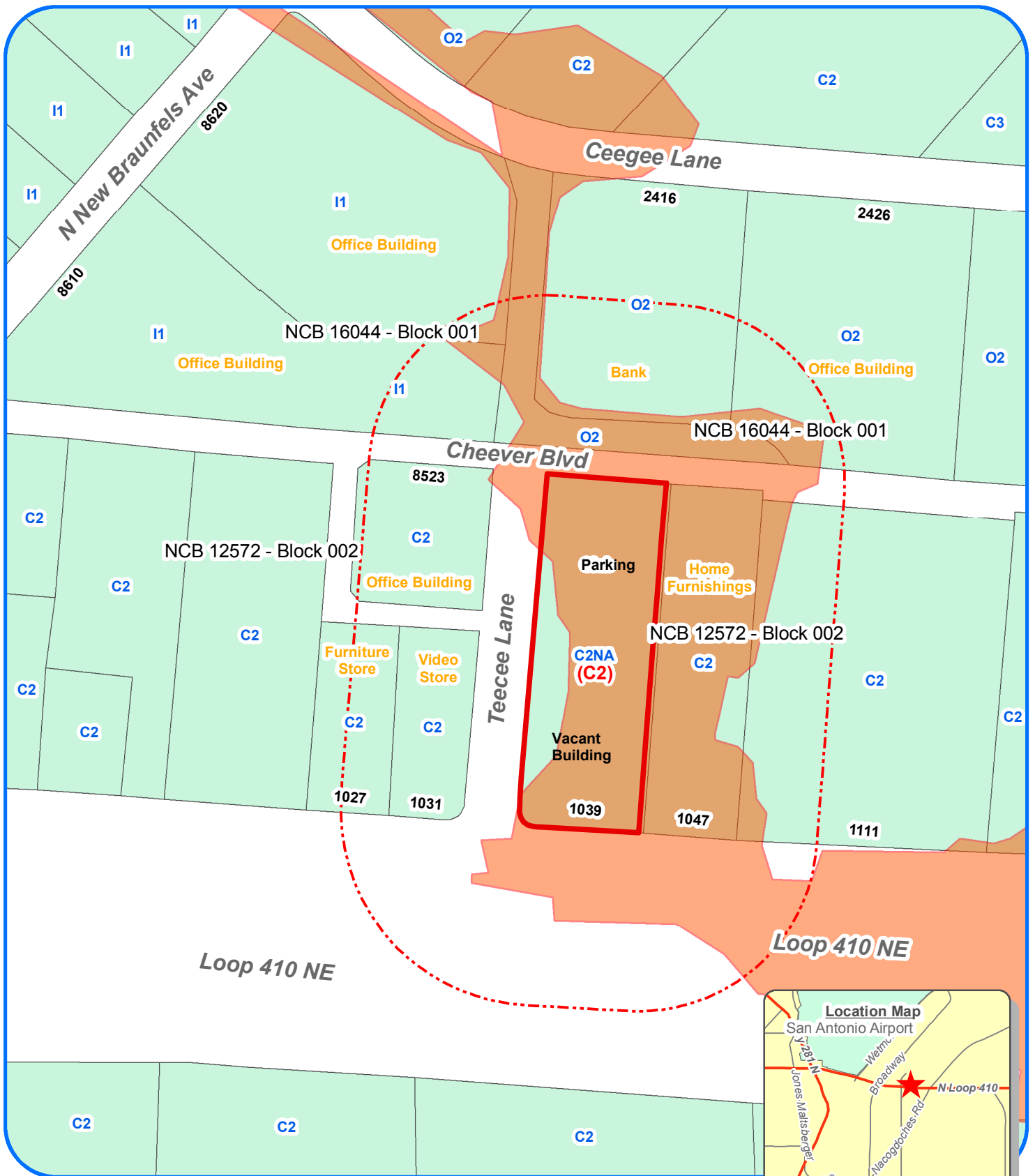
South Presa Metropolitan Corridor River Improvement Overlay (RIO) Districts and Mission Historic District

C. CITY COUNCIL ORDINANCE

Reserved



FOR ADDITIONAL INFORMATION CONTACT:
CITY OF SAN ANTONIO
DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT
P. O. Box 839966
SAN ANTONIO, TX 78283-3966
(210) 207-0147
WWW.SANANTONIO.GOV/PLANNING



Zoning Case Notification Plan

Case Z-2011-079

Council District 10

Scale: 1" approx. = 150 Feet

Subject Property Legal Description(s): NCB 12572 - Block 002 - Lot 28

Legend

Subject Properties	(1.287 Acres)
200' Notification Area	
Current Zoning	TEXT
Requested Zoning Change	TEXT
100-Year DFIRM Floodplain	
Single Family Residential	1R



Development Services Dept
City of San Antonio
(03/21/2011 - E Hart)

Note: All Current and Requested Zoning includes AHOD Zoning (Airport Hazard Overlay District).



City of San Antonio

Development Services Department

Staff Report

To: Zoning Commission
Zoning Case #: Z2011079
Hearing Date: April 5, 2011
Property Owner: The Meng Partnership
Applicant: Matthew Countryman (John Lane & Associates)
Representative: John R. Lane, Jr.
Location: 1039 N. E. Loop 410
Legal Description: Lot 28, Block 2, NCB 12572
Total Acreage: 1.2871
City Council District: 10
Case Manager: Pedro Vega, Planner
Case History: This is the first public hearing for this zoning request.

Proposed Zoning Change

Current Zoning: "C-2 NA AHOD" Commercial Nonalcoholic Sales Airport Hazard Overlay District

Requested Zoning: "C-2 AHOD" Commercial Airport Hazard Overlay District

Procedural Requirements

The request was publicly noticed in accordance with Section 403 of the Unified Development Code (UDC). Notices were sent to property owners and registered neighborhood associations within two hundred (200) feet of the subject property on March 23, 2011. The application was published in The Daily Commercial Recorder, an official newspaper of general circulation on March 17, 2011. Additionally, notice of this meeting was posted at city hall and on the city's internet website on April 1, 2011, in accordance with Section 551.043(a) of the Texas Government Code.

Notices Mailed

Owners of Property within 200 feet: 11

Neighborhood Associations: None

Planning Team Members: 54 (San Antonio International Airport Vicinity Plan)

Applicable Agencies: None

Adjacent Zoning and Land Uses

Direction	Current Base Zoning	Current Land Uses
East	"C-2 AHOD"	Commercial Use
South	N.E. Loop 410	Expressway
West across Teecee Lane	"C-2 AHOD"	Commercial Uses
North across Cheever Boulevard	"O-2 AHOD"	Office Uses

Overlay and Special District Information: All surrounding properties carry the "AHOD" Airport Hazard Overlay District, due to their proximity to an airport or approach path. The "AHOD" does not restrict permitted uses, but can require additional review of construction plans by both the Development Services Department and the Federal Aviation Administration.

Transportation

Thoroughfare	Existing Character	Proposed Changes
N.E. Loop 410 access road	Access road two lanes in one direction	None
Teecee Lane	Local street one lane in each direction	None

Public Transit: VIA bus line 551 runs along the N.E. Loop 410 access road; with multiple bus stops in close proximity to the subject property.

Traffic Impact: A Traffic Impact Analysis (TIA) is required.

Parking Information: Minimum Parking Requirement: 1 per 100 sf of GFA. Maximum Parking Requirement: 1 per 40 sf of GFA.

Staff Analysis and Recommendation: Approval.

Topography: The subject property is relatively flat and has no physical characteristics that are likely to affect the use.

Property History: The subject property was annexed in September 1952, per Ordinance 18115, and was originally zoned "F" Local Retail District. Upon adoption of the 2001 Unified Development Code, the previous zoning converted to the current "C-2 AHOD" Commercial Airport Hazard Overlay District. In August 2009, this property was the subject of zoning case Z2009108, in which the applicant was granted C-2 CD with a Conditional Use for a Nightclub with a number of conditions. However, since that time the subject property was not operating in compliance with the conditions set forth by the City Council or within the scope of the Certificate of Occupancy that was issued. On February 2010, the Board of Adjustment revoked the certificate of occupancy of the business. On May 2010, the City Council, through resolution, directed the Development Services Department to initiate the zoning change to "C-2 NA AHOD" Commercial Nonalcoholic Sales Airport Hazard Overlay District.

Criteria for Review: According to Section 35-421, zoning amendments shall be based on the approval criteria below.

1. Consistency:

The subject property is located within the San Antonio International Airport Vicinity Plan. The requested zoning is consistent with the property's Future Land Use Designation, Community Commercial.

2. Adverse Impacts on Neighboring Lands:

The granting of the "C-2 AHOD" Commercial Airport Hazard Overlay District will not have an adverse impact on the neighborhood. The nearest residential property line is more than 1100 feet away; while access to the nearest residential neighborhood is almost 2000 feet away, along Nacogdoches Road. The request is reasonable given the lack of businesses with alcohol restrictions.

3. Suitability as Presently Zoned:

The base zoning district will remain "C-2 AHOD" Commercial Airport Hazard Overlay District. The request is less of a request for a zoning change and more of a request to remove the alcohol restrictions currently imposed on this property.

4. Health, Safety and Welfare:

Staff has found no indication of likely adverse effects on the public health, safety, or welfare.

5. Public Policy:

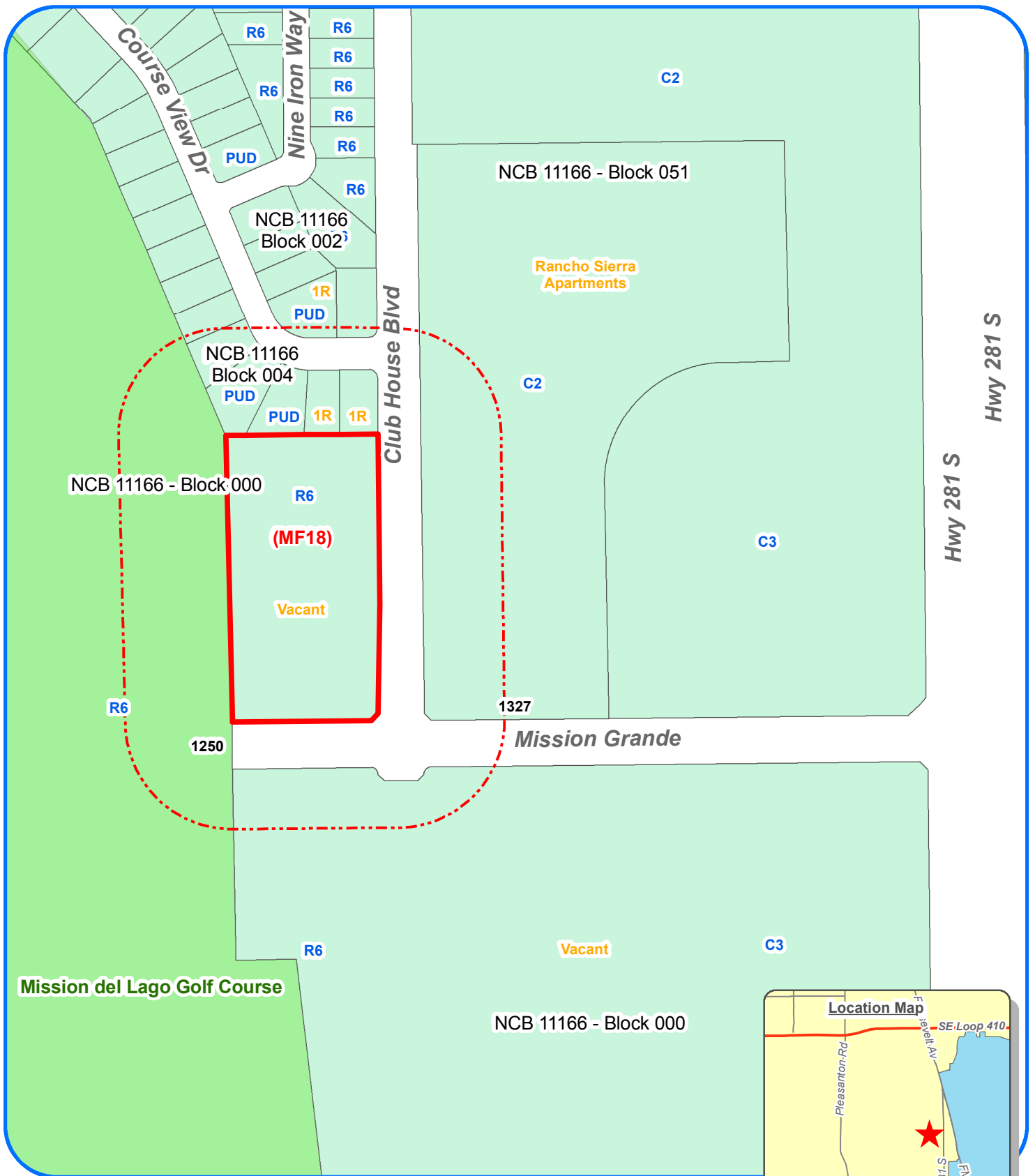
The request does not appear to conflict with any established public policy.

6. Size of Tract:

The subject property is approximately 1.2871 acres located on the northeast corner of Loop 410 access road and Teecee Lane. The property has frontage on, and access from Loop 410 access road, Teecee Lane and Cheever Boulevard. The existing structure, which was built in 1975, measures approximately 8,566 square feet and is currently vacant, but was used as a bar/restaurant in the past.

7. Other Factors:

Staff finds the requested zoning to be appropriate for the subject property due to its location and surrounding uses. The proposed zoning request would allow reuse of the existing vacant commercial building. The application of alcohol sales restrictions is generally a public policy decision and does not have a direct impact on land use decisions.



Zoning Case Notification Plan

Case Z-2011-080

Council District 3

Scale: 1" approx. = 250 Feet

Subject Property Legal Description(s): NCB 11166 - Block 000 - Parcel P-46

Legend

Subject Properties	(3.370 Acres)
200' Notification Area	
Current Zoning	TEXT
Requested Zoning Change	(TEXT)
100-Year DFIRM Floodplain	
Single Family Residential	1R



Development Services Dept
City of San Antonio
(03/22/2011 - E Hart)

Note: All Current and Requested Zoning includes AHOD Zoning (Airport Hazard Overlay District).



City of San Antonio

Development Services Department

Staff Report

To: Zoning Commission

Zoning Case #: Z2011080

Hearing Date: April 5, 2011

Property Owner: Mission Del Lago, Ltd.

Applicant: Mission Del Lago, Ltd.

Representative: Earl & Associates (Michael DeNuccio, Bart Swider, David Earl)

Location: 12150 South US Highway 281, located at the northwest corner of Club House Boulevard and Mission Grande

Legal Description: P-46, NCB 11166

Total Acreage: 3.37

City Council District: 3

Case Manager: Micah Diaz, Planner

Case History: This is the first public hearing for this zoning case.

Proposed Zoning Change

Current Zoning: "R-6 AHOD" Residential Single-Family Airport Hazard Overlay District

Requested Zoning: "MF-18 AHOD" Limited Density Multi-Family Airport Hazard Overlay District

Procedural Requirements

The request was publicly noticed in accordance with Section 403 of the Unified Development Code (UDC). The application was published in The Daily Commercial Recorder, an official newspaper of general circulation on March 17, 2011. Notices were sent to property owners and registered neighborhood associations within two hundred (200) feet of the subject property on March 24, 2011. Additionally, notice of this meeting was posted at city hall and on the city's internet website on April 1, 2011, in accordance with Section 551.043(a) of the Texas Government Code.

Notices Mailed

Owners of Property within 200 feet: 12

Neighborhood Associations: None

Planning Team Members: 35 – Heritage South Sector Plan

Applicable Agencies: None

Adjacent Zoning and Land Uses

Direction	Current Base Zoning	Current Land Uses
North	“R-6” Residential Single-Family District	Single-family dwellings
East	“C-2” Commercial District and “C-3” General Commercial District	Apartments, undeveloped land
South	“R-6” and “C-3”	Undeveloped land
West	“R-6”	Golf course

Overlay and Special District Information: All surrounding properties carry the "AHOD" Airport Hazard Overlay District, due to their proximity to an airport or approach path. The "AHOD" does not restrict permitted uses, but can require additional review of construction plans by both the Development Services Department and the Federal Aviation Administration.

Some of the single-family residence parcels east of the subject property, along Course View Drive, are in a “PUD” Planned Unit Development. “PUD” developments allow flexibility in the lot, building, and infrastructure requirements while also providing protections for adjacent properties, preserving natural amenities and open space, and allowing gated subdivisions and/or private streets.

Transportation

Thoroughfare	Existing Character	Proposed Changes
US Hwy 281 S	Super Arterial Type B; two lanes in each direction, divided by a center median	Unknown
Mission Grande	Local street, one lane in each direction, divided by a center median	Unknown
Club House Boulevard, Course View Drive	Private roads	Unknown

Public Transit: VIA bus line 42 operates along Club House Boulevard and Roosevelt Avenue/US Hwy 281 South., with multiple stops adjacent to the subject property.

Traffic Impact: A Traffic Impact Analysis (TIA) is not required. The traffic generated by the proposed development does not exceed the threshold requirements.

Parking Information: Parking requirements for multi-family uses are determined by the total number of dwelling units.

Minimum Parking Requirement: 1.5 spaces per unit

Maximum Parking Requirement: 2 paces per unit

Staff Analysis and Recommendation: Approval

Topography: The property does not include any abnormal physical features such as slope or inclusion in a flood plain.

Property History: The subject property was annexed in 1988 (Ordinance 68292), and was originally zoned “Temp-R-1” Temporary Single Family Residence District. In a 1989 case, the property was rezoned to “R-1” Single Family Residence District. Upon the adoption of the 2001 Unified Development Code, the previous base zoning district converted to the current “R-6” Residential Single-Family District. The property is not platted, and is currently undeveloped.

Criteria for Review: According to Section 35-421, zoning amendments shall be based on the approval criteria below.

1. Consistency:

The subject property is located within the Heritage South Sector Plan, and is identified as being in the Suburban Tier of the future land use plan. As the Suburban Tier includes land uses ranging from low and medium density residential to community commercial, both the existing and requested zoning districts are consistent with the future land use designation.

2. Adverse Impacts on Neighboring Lands:

None.

3. Suitability as Presently Zoned:

Multi-family development is appropriate for this location, as the property is located on the periphery of a single-family residential neighborhood. Additionally, medium density residential uses provide a suitable transition between single-family uses and major thoroughfare corridors that are likely to include commercial and high density multi-family uses.

4. Health, Safety and Welfare:

Staff has found no indication of likely adverse effects on the public health, safety, or welfare.

5. Public Policy:

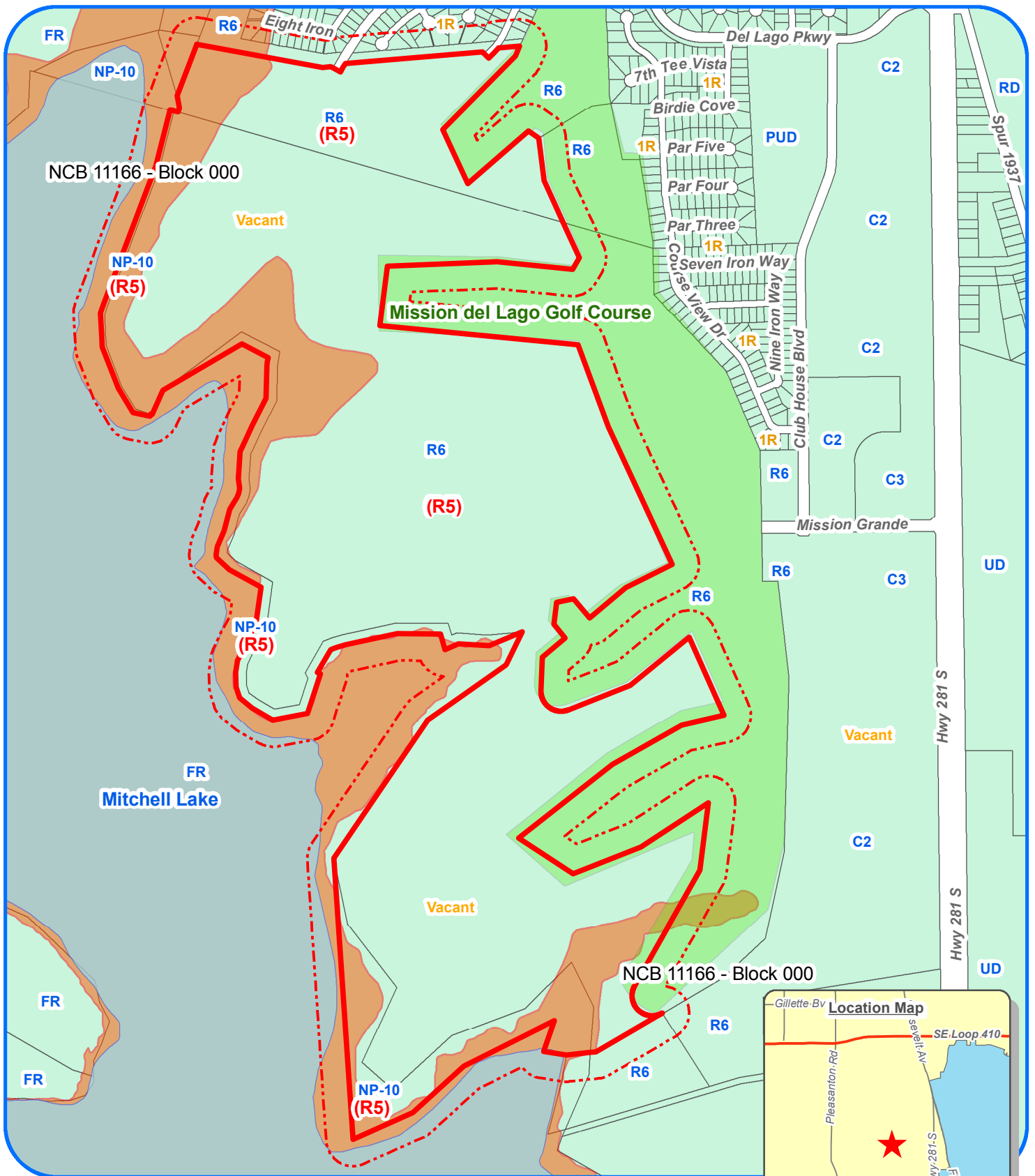
The Heritage South Sector Plan encourages a mix of housing types, including higher-density residential development at strategic nodes.

6. Size of Tract:

Based on the total acreage, the requested “MF-18” district could allow as many as 60 units on the subject property.

7. Other Factors:

None.



Zoning Case Notification Plan

Case Z-2011-081

Council District 3

Scale: 1" approx. = 1,000 Feet

Subject Property Legal Description(s): NCB 11166 - Block 000 - Parcels P-2B, P-2C, P-2D, P-3, P-3B, P-4, P-42, P-42C, and P-43A

Legend

- Subject Properties (422.347 Acres)
- 200' Notification Area
- Current Zoning **TEXT**
- Requested Zoning Change **(TEXT)**
- 100-Year DFIRM Floodplain
- Single Family Residential **1R**



Development Services Dept
City of San Antonio
(03/23/2011 - E Hart)

Note: All Current and Requested Zoning includes AHOD Zoning (Airport Hazard Overlay District).



City of San Antonio

Development Services Department

Staff Report

To: Zoning Commission

Zoning Case #: Z2011081

Hearing Date: April 5, 2011

Property Owner: Mission Del Lago, Ltd.

Applicant: Mission Del Lago, Ltd.

Representative: Earl & Associates (Michael DeNuccio, Bart Swider, David Earl)

Location: 12100 and 12200 South US Highway 281, located between Mitchell Lake and Mission Del Lago Golf Course

Legal Description: Parcels 2B, 2C, 2D, 3, 3B, 4, 42, 42C and 43A, NCB 11166

Total Acreage: 422.347

City Council District: 3

Case Manager: Micah Diaz, Planner

Case History: This is the first public hearing for this zoning case.

Proposed Zoning Change

Current Zoning: "NP-10 AHOD" Neighborhood Preservation Airport Hazard Overlay District and "R-6 AHOD" Residential Single-Family Airport Hazard Overlay District

Requested Zoning: "R-5 AHOD" Residential Single-Family Airport Hazard Overlay District

Procedural Requirements

The request was publicly noticed in accordance with Section 403 of the Unified Development Code (UDC). The application was published in The Daily Commercial Recorder, an official newspaper of general circulation on March 17, 2011. Notices were sent to property owners and registered neighborhood associations within two hundred (200) feet of the subject property on March 24, 2011. Additionally, notice of this meeting was posted at city hall and on the city's internet website on April 1, 2011, in accordance with Section 551.043(a) of the Texas Government Code.

Notices Mailed

Owners of Property within 200 feet: 52

Neighborhood Associations: None

Planning Team Members: 35 – Heritage South Sector Plan

Applicable Agencies: None

Adjacent Zoning and Land Uses

Direction	Current Base Zoning	Current Land Uses
North	“R-6” Residential Single-Family District	Undeveloped, single-family residences
East	“R-6”, “C-2” Commercial District, and “C-3” General Commercial District	Golf course, single-family residences, undeveloped land, apartments
South	“R-6”, “NP-10” Neighborhood Preservation District, and “FR” Farm and Ranch District	SAWS facility, undeveloped land, Mitchell Lake
West	“NP-10” and “FR”	Mitchell Lake

Overlay and Special District Information: All surrounding properties carry the "AHOD" Airport Hazard Overlay District, due to their proximity to an airport or approach path. The "AHOD" does not restrict permitted uses, but can require additional review of construction plans by both the Development Services Department and the Federal Aviation Administration.

Some of the single-family residence parcels east of the subject property, along Course View Drive, are in a “PUD” Planned Unit Development. “PUD” developments allow flexibility in the lot, building, and infrastructure requirements while also providing protections for adjacent properties, preserving natural amenities and open space, and allowing gated subdivisions and/or private streets.

Transportation

Thoroughfare	Existing Character	Proposed Changes
US Hwy 281 S	Super Arterial Type B; two lanes in each direction, divided by a center median	Unknown
Del Lago Parkway	Private road; currently provides one of only two ingress/egress points for the subject property	Unknown
Tiger Woods	Private road; currently provides one of only two ingress/egress points for the subject property	Unknown

Public Transit: VIA bus line 42 operates along Club House Boulevard and Roosevelt Avenue/US Hwy 281 South.

Traffic Impact: A Traffic Impact Analysis (TIA) is required, but can be deferred to the platting phase. A traffic engineer must be present at the Zoning Commission hearing.

Parking Information: Each single-family dwelling is required to provide at least one off-street parking space. There is no maximum allowable parking for single-family residences.

Staff Analysis and Recommendation: Denial

Topography: The property does not include any significant changes in elevation. The western and southern property boundaries abut Mitchell Lake, and portions of the subject property near the lake are located in the 100-year flood plain.

Property History: The subject property was annexed in 1987 (Ordinance 66017), and was originally zoned “Temp R-1” Temporary Single Family Residence District. In a 1988 case, the area including and immediately surrounding Mitchell Lake was rezoned to “RA” Residence – Agriculture District. In a 1989 case, the bulk area of the subject property was rezoned to “R-1” Single Family Residence District. Upon the adoption of the 2001 Unified Development Code, the previous base zoning districts converted to the current “NP-10” Neighborhood Preservation District and “R-6” Residential Single-Family District, respectively. The property is not platted and is currently undeveloped.

Criteria for Review: According to Section 35-421, zoning amendments shall be based on the approval criteria below.

1. Consistency:

The subject property is located within the Heritage South Sector Plan, and is identified as being in the Suburban Tier of the future land use plan. As the Suburban Tier includes land uses ranging from low density residential to community commercial, both the existing and requested zoning districts are consistent with the future land use designation.

The requested “R-5” district is not consistent with surrounding zoning or emerging pattern of development between Mitchell Lake and US Hwy 281 South. Current planning principals encourage a decrease in residential density as development extends away from collector and arterial roadways. Such practices create a pattern of higher density at the perimeter of a neighborhood, with decreasing density as one travels into the neighborhood.

2. Adverse Impacts on Neighboring Lands:

The increased density and possible number of total dwelling units could have negative impacts on the neighboring Mitchell Lake. Mitchell Lake is a natural migratory route for a number of bird species and, as such, necessitates a sensitive development pattern with limited density. Staff does not oppose development of the area; however, future development should be no more intense than necessary.

3. Suitability as Presently Zoned:

The existing zoning districts will permit suitable development of the subject property.

4. Health, Safety and Welfare:

Increasing residential density within the interior of a neighborhood, away from collector and arterial roadways increases traffic on local, residential streets. Greater densities are encouraged near the main subdivision access points.

5. Public Policy:

None.

6. Size of Tract:

The requested zoning district allows a minimum lot size of 5,000 square feet, up to 9 dwellings per acre. The existing “R-6” zoning requires a minimum lot size of 6,000 square feet and allows up to 7 dwelling units per acre. Based on the total acreage of the subject property, the “R-5” district could allow more than 800 additional dwelling units as compared to the existing “R-6” district.

7. Other Factors:

None.



Zoning Case Notification Plan

Case Z-2011-082 S

Council District 5

Scale: 1" approx. = 1,000 Feet

Subject Property Legal Description(s): NCB 6881 - Block 000 - Lot 20

Legend

- Subject Properties (0.0781 Acres)
- 200' Notification Area
- Current Zoning
- Requested Zoning Change
- 100-Year DFIRM Floodplain
- Single Family Residential
- 1R

TEXT
(TEXT)



Development Services Dept
City of San Antonio
(03/23/2011 - E Hart)

Note: All Current and Requested Zoning includes AHOD Zoning (Airport Hazard Overlay District).



City of San Antonio

Development Services Department

Staff Report

To: Zoning Commission
Zoning Case #: Z2011082 S ICRIP
Hearing Date: April 5, 2011
Property Owner: Alfred and Carol Longoria
Applicant: Alfred and Carol Longoria
Representative: Alfred and Carol Longoria
Location: 201 Brady Boulevard
Legal Description: Lot 20, NCB 6881
Total Acreage: 0.0781
City Council District: 5
Case Manager: Pedro Vega, Planner
Case History: This is the first public hearing for this zoning request.

Proposed Zoning Change

Current Zoning: "MF-33 AHOD" Multi Family Airport Hazard Overlay District

Requested Zoning: "NC AHOD IDZ S" Neighborhood Commercial Airport Hazard Overlay Infill Development Zone District with a Specific Use Authorization for a Caretaker's Facility.

Procedural Requirements

The request was publicly noticed in accordance with Section 403 of the Unified Development Code (UDC). Notices were sent to property owners and registered neighborhood associations within two hundred (200) feet of the subject property on March 23, 2011. The application was published in The Daily Commercial Recorder, an official newspaper of general circulation on March 17, 2011. Additionally, notice of this meeting was posted at city hall and on the city's internet website on April 1, 2011, in accordance with Section 551.043(a) of the Texas Government Code.

Notices Mailed

Owners of Property within 200 feet: 39

Neighborhood Associations: None

Planning Team Members: 22 (Guadalupe Westside Community Plan)

Applicable Agencies: None

Adjacent Zoning and Land Uses

Direction	Current Base Zoning	Current Land Uses
North	"R-4 AHOD"	Single-Family Dwellings
South across Brady Boulevard	"I-1 AHOD"	Convenience Store
West	"R-4 AHOD"	Single-Family Dwellings
East across South Cibolo Street	"C-3R AHOD"	Pawn Shop

Overlay and Special District Information: All surrounding properties carry the “AHOD” Airport Hazard Overlay District, due to their proximity to an airport or approach path. The “AHOD” does not restrict permitted uses, but can require additional review of construction plans by both the Development Services Department and the Federal Aviation Administration.

Transportation

Thoroughfare	Existing Character	Proposed Changes
Brady Boulevard	Collector street one lane in each direction	None
South Cibolo Street	Local street one lane in each direction	None

Public Transit: The nearest VIA bus line is the number 62 line which runs along Frio City Road.

Traffic Impact: A Traffic Impact Analysis (TIA) is not required because traffic generated by the proposed development does not exceed the threshold requirements.

Parking Information: Infill Development Zone Districts are exempt from minimum parking requirements.

Staff Analysis and Recommendation: Approval

Topography: The subject property is relatively level, with no vegetation.

Property History: The subject property is located within the City Limits as recognized in 1938. The subject property was originally zoned "C" Apartment District. Upon adoption of the 2001 Unified Development Code, the previous zoning district converted to the current "MF-33 AHOD" Multi Family Airport Hazard Overlay District.

Criteria for Review: According to Section 35-421, zoning amendments shall be based on the approval criteria below.

1. Consistency:

The subject property is located within the Guadalupe Westside Community Plan and is currently designated as “Low Density Residential”. Pre-existing commercial buildings less than 3,000 square feet at the corners of residential streets may be used for neighborhood commercial purposes. Therefore, the requested zoning district is consistent with the plan.

2. Adverse Impacts on Neighboring Lands:

The granting of the zoning request will not have an adverse impact on the neighborhood. The Neighborhood Commercial land use categories include uses that are compatible and may be placed in close proximity to residential uses.

3. Suitability as Presently Zoned:

The subject property is not likely to be developed for residential uses. The existing building was previously used as a business for many years.

4. Health, Safety and Welfare:

Staff has found no indication of likely adverse effects on the public health, safety, or welfare. The zoning request would also help in preserving the existing commercial building and enhancing the property.

5. Public Policy:

The request does not appear to conflict with any established public policy. The property is located within the Inner City Reinvestment Policy (ICRIP) area. The purpose of the ICRIP is to promote growth and development in the inner city, specifically in areas that are currently served by public infrastructure and transit, but underserved by residential and commercial real estate markets.

6. Size of Tract:

The building is 2,968 square feet in size, which is adequate space for the proposed uses. The applicant has submitted a site plan in order to comply with the Specific Use Authorization requirements.

7. Other Factors:

The proposed zoning request would be appropriate at this location and beneficial reuse of the existing two story vacant commercial building. The "NC" Neighborhood Commercial District is intended to allow small businesses that can be supported by the local residents and appropriate in residential neighborhoods when appropriately located.

The purpose of the Specific Use Authorization is to provide for certain uses which, because of their unique characteristics or potential impacts on adjacent land uses, are not generally permitted in certain zoning districts as a matter of right, but which may, under the right set of circumstances and conditions be acceptable in certain specific locations.

The Infill Development Zone district provides flexible standards for the development and reuse of underutilized parcels. This zoning district is intended to facilitate development on vacant, bypassed lands, or the redevelopment of underutilized buildings or structures, within existing built up areas by waiving some standards, including those related to parking, landscaping, buffering, open space and building location.

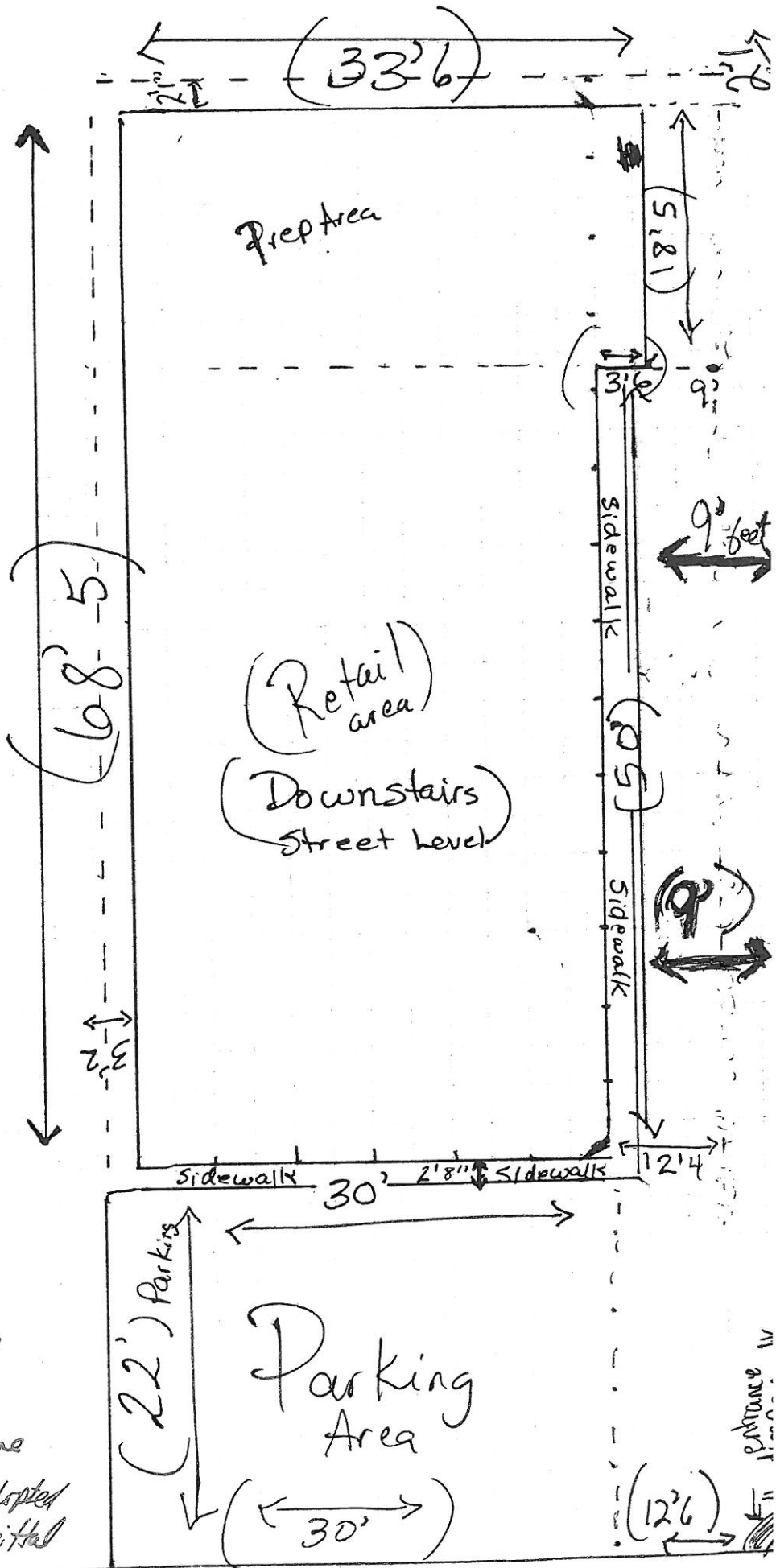
201 Brady Blvd

Scale
Every (2) grids = 5 feet

Longoria's Grocery
& Grill

Street Level

"I, Carol & Alfred Longoria,
the property owner, acknowledge
that this site plan submitted
for the purpose of rezoning this
property is in accordance with all
applicable provisions of the Unified
Development Code. Additionally, I
understand that City Council approval
of a site plan in conjunction with
a rezoning does not relieve me
from adherence to any/all City adopted
codes at the time of plan submitted
for building permits."



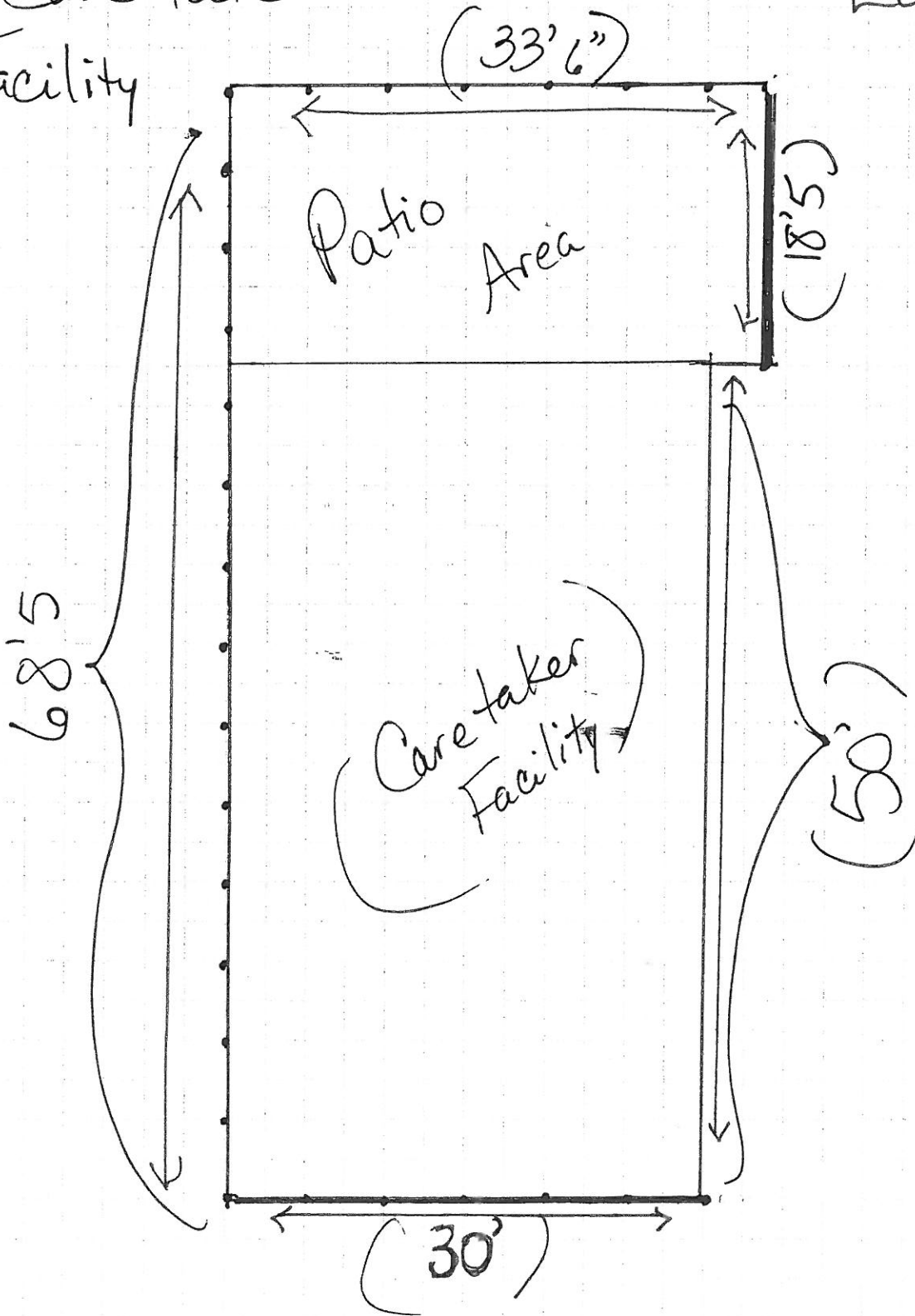
Z2011082 5

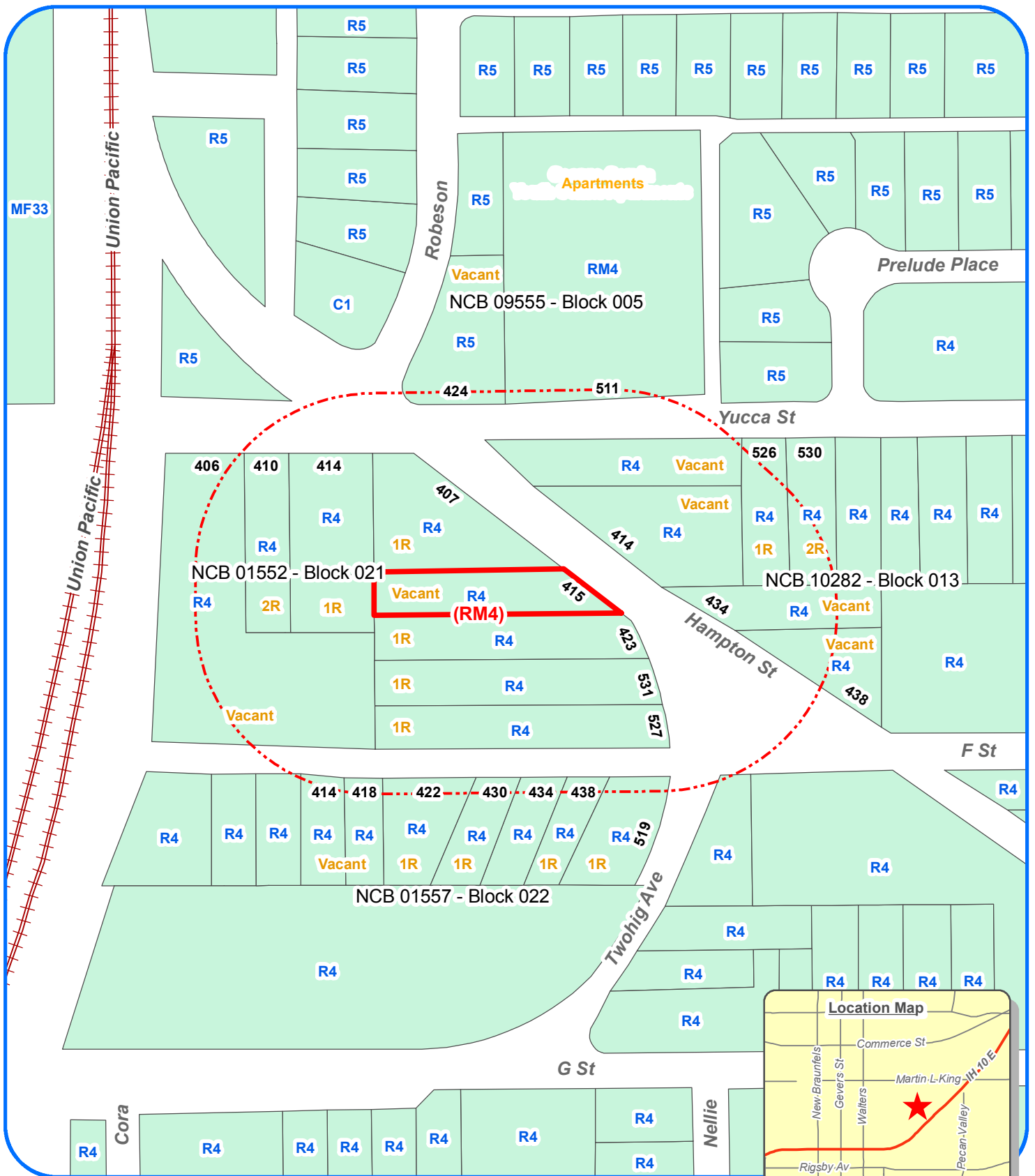
201 Brady
Blvd

2ND Story

Care-taker
Facility

Longoria's
Grocery
Grill





Zoning Case Notification Plan

Case Z-2011-083

Council District 2

Scale: 1" approx. = 150 Feet

Subject Property Legal Description(s): NCB 01552 - Block 021 - Lot 2

Legend

- Subject Properties (0.2606 Acres)
- 200' Notification Area
- Current Zoning
- Requested Zoning Change
- 100-Year DFIRM Floodplain
- Single Family Residential
- 1R

TEXT
(TEXT)



Development Services Dept
City of San Antonio
(03/23/2011 - E Hart)



City of San Antonio

Development Services Department

Staff Report

To: Zoning Commission

Zoning Case #: Z2011083

Hearing Date: April 5, 2011

Property Owner: Morganfield Homes, L. L. C.

Applicant: George Marshall

Representative: George Marshall

Location: 415 Hampton Street;

Legal Description: Lot 2, Block 21, NCB 1552

Total Acreage: 0.2606

City Council District: 2

Case Manager: Brenda Valadez, Planner

Case History: This is the first public hearing for this zoning request.

Proposed Zoning Change

Current Zoning: "R-4" Residential Single Family District

Requested Zoning: "RM-4" Residential Mixed District

Procedural Requirements

The request was publicly noticed in accordance with Section 403 of the Unified Development Code (UDC). The application was published in The Daily Commercial Recorder, an official newspaper of general circulation on March 18, 2011. Notices were sent to property owners and registered neighborhood associations within two hundred (200) feet of the subject property on March 23, 2011. Additionally, notice of this meeting was posted at city hall and on the city's internet website on April 1, 2011, in accordance with Section 551.043(a) of the Texas Government Code.

Notices Mailed

Owners of Property within 200 feet: 16

Neighborhood Associations: None

Planning Team Members: Arena District/Eastside Community Plan (27)

Applicable Agencies: None

Adjacent Zoning and Land Uses

Direction	Current Base Zoning	Current Land Uses
North	R-4, R-5, RM-4 and C-1	Single-Family Residence, Vacant land, Apartments
South	R-4	Single-Family Residences, Church
East	R-4	Vacant land, Single-Family Residence, Duplex
West	R-4	Single-Family Residence, Duplex

Overlay and Special District Information: None

Transportation

Thoroughfare	Existing Character	Proposed Changes
Hampton Street	Local Street; 1 lane in each direction	None known.
Yucca Street	Collector Street; 1 lane in each direction	None known.

Public Transit: VIA bus line 28 operates along Yucca Street; with multiple bus stops in close proximity to the subject property.

Traffic Impact: A Traffic Impact Analysis is not required. The traffic generated by the proposed development does not exceed the threshold requirements.

Parking Information: Minimum Parking Requirement: 1.5 spaces per unit
Maximum Parking Requirement: 2 spaces per unit

Staff Analysis and Recommendation: Approval

Topography: The property does not include any abnormal physical features such as slope or inclusion in a floodplain.

Property History: The subject property is undeveloped and was annexed in 1951 and was originally zoned “B” Residence District. Upon adoption of the 2001 Unified Development Code, the previous base zoning district converted to the current “R-4” Residential Single-Family District.

Criteria for Review: According to Section 35-421, zoning amendments shall be based on the approval criteria below.

1. Consistency:

The subject property is located within the Arena District/Eastside Community Plan and is currently designated as “Medium Density Residential” in the Future Land Use Plan. The zoning request is consistent with the Future Land Use designation.

2. Adverse Impacts on Neighboring Lands:

The proposed RM-4 zoning is appropriate for the area. Medium and high-density developments are encouraged in areas where supporting infrastructure, such as public transportation and commercial facilities are present. The site is located in an area where there is accessibility to public services and traffic circulation to major thoroughfares. The surrounding area consists of a mixture of housing types (single-family residential, duplexes and apartments). This development pattern is desired along this block of Hampton Street, as described in the Arena District/Eastside Community Plan.

3. Suitability as Presently Zoned:

The current residential zoning and proposed residential mixed zoning are both appropriate for the area. The proposed multi-family development is appropriate and in character with the current development pattern along Hampton Street and Yucca Street

4. Health, Safety and Welfare:

Staff has found no indication of likely adverse effects on the public health, safety or welfare.

5. Public Policy:

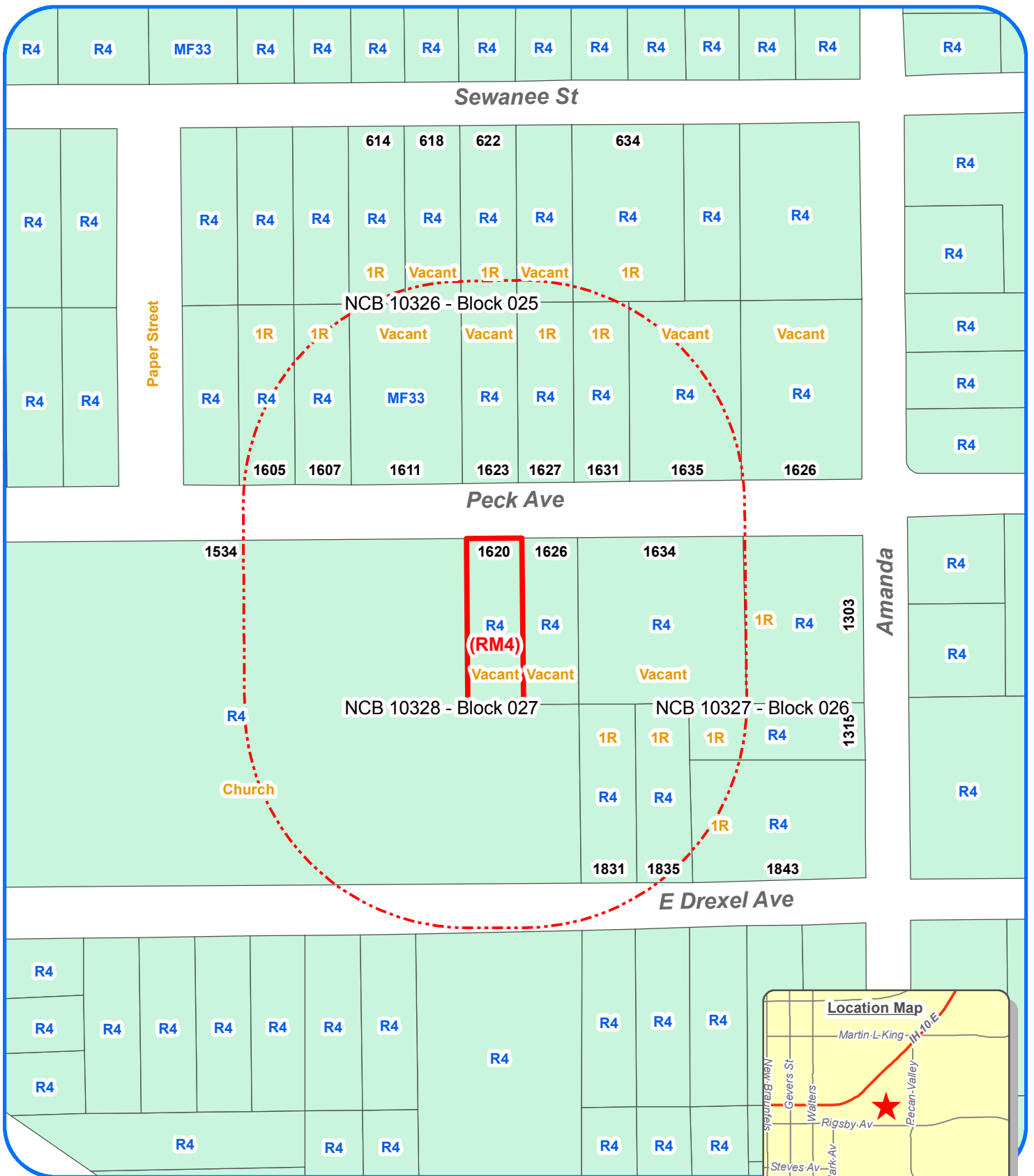
The request does not appear to conflict with any public policy objective.

6. Size of Tract:

The 11,350 square foot tract of land is of sufficient size to accommodate the requested zoning and use.

7. Other Factors:

None.



Zoning Case Notification Plan

Case Z-2011-084

Council District 2

Scale: 1" approx. = 120 Feet

Subject Property Legal Description(s): NCB 10327 - Block 026 - Lot 6

Legend

Subject Properties (0.17 Acres)

200' Notification Area

Current Zoning

Requested Zoning Change

100-Year DFIRM Floodplain

Single Family Residential

1R

TEXT
(TEXT)



Development Services Dept
City of San Antonio
(03/23/2011 - E Hart)



City of San Antonio

Development Services Department

Staff Report

To: Zoning Commission

Zoning Case #: Z2011084

Hearing Date: April 5, 2011

Property Owner: Morganfield Homes, L. L. C.

Applicant: George Marshall

Representative: George Marshall

Location: 1620 Peck Avenue; Located on the south side of Peck Avenue between Hampton Street to the west and Amanda Street to the east.

Legal Description: Lot 6, Block 26, NCB 10327

Total Acreage: 0.17

City Council District: 2

Case Manager: Brenda Valadez, Planner

Case History: This is the first public hearing for this zoning request.

Proposed Zoning Change

Current Zoning: "R-4" Residential Single Family District

Requested Zoning: "RM-4" Residential Mixed District

Procedural Requirements

The request was publicly noticed in accordance with Section 403 of the Unified Development Code (UDC). The application was published in The Daily Commercial Recorder, an official newspaper of general circulation on March 18, 2011. Notices were sent to property owners and registered neighborhood associations within two hundred (200) feet of the subject property on March 23, 2011. Additionally, notice of this meeting was posted at city hall and on the city's internet website on April 1, 2011, in accordance with Section 551.043(a) of the Texas Government Code.

Notices Mailed

Owners of Property within 200 feet: 22

Neighborhood Associations: None

Planning Team Members: Eastern Triangle Community Plan (27)

Applicable Agencies: None.

Adjacent Zoning and Land Uses

Direction	Current Base Zoning	Current Land Uses
North	R-4, MF-33	Single-Family Residences, Vacant land
South	R-4	Single-Family Residences, Vacant land
East	R-4	Single-Family Residences, Vacant land
West	R-4	Single-Family Residences, Church

Overlay and Special District Information: None.

Transportation

Thoroughfare	Existing Character	Proposed Changes
Peck Avenue	Local Street; 1 lane in each direction	None known.
Amanda	Collector Street; 1 lane in each direction	None known.
East Drexel Avenue	Local Street; 1 lane in each direction	None known.

Public Transit: VIA bus line 28 operates along Amanda; with multiple bus stops in close proximity to the subject property.

Traffic Impact: A Traffic Impact Analysis is not required. The traffic generated by the proposed development does not exceed the threshold requirements.

Parking Information: Minimum Parking Requirement: 1.5 spaces per unit
Maximum Parking Requirement: 2 spaces per unit

Staff Analysis and Recommendation: Approval

Topography: The property does not include any abnormal physical features such as slope or inclusion in a floodplain.

Property History: The subject property is undeveloped and was annexed in 1951 and was originally zoned “B” Residence District. Upon adoption of the 2001 Unified Development Code, the previous base zoning district converted to the current “R-4” Residential Single-Family District.

Criteria for Review: According to Section 35-421, zoning amendments shall be based on the approval criteria below.

1. Consistency:

The subject property is located within the Eastern Triangle Community Plan and is currently designated as “Medium Density Residential” in the Future Land Use Plan. The zoning request is consistent with the Future Land Use designation.

2. Adverse Impacts on Neighboring Lands:

The proposed RM-4 zoning is appropriate for the area. Medium and high-density developments are encouraged in areas where supporting infrastructure, such as public transportation and commercial facilities are present. The site is located in an area where there is accessibility to public services and traffic circulation to major thoroughfares. This development pattern is desired along this block of Peck Avenue, as described in the Eastern Triangle Community Plan.

3. Suitability as Presently Zoned:

The current residential zoning and proposed residential mixed zoning are both appropriate for the area. Staff believes the proposed use will be compatible with the surrounding land uses and overall character of the community.

4. Health, Safety and Welfare:

Staff has found no indication of likely adverse effects on the public health, safety or welfare.

5. Public Policy:

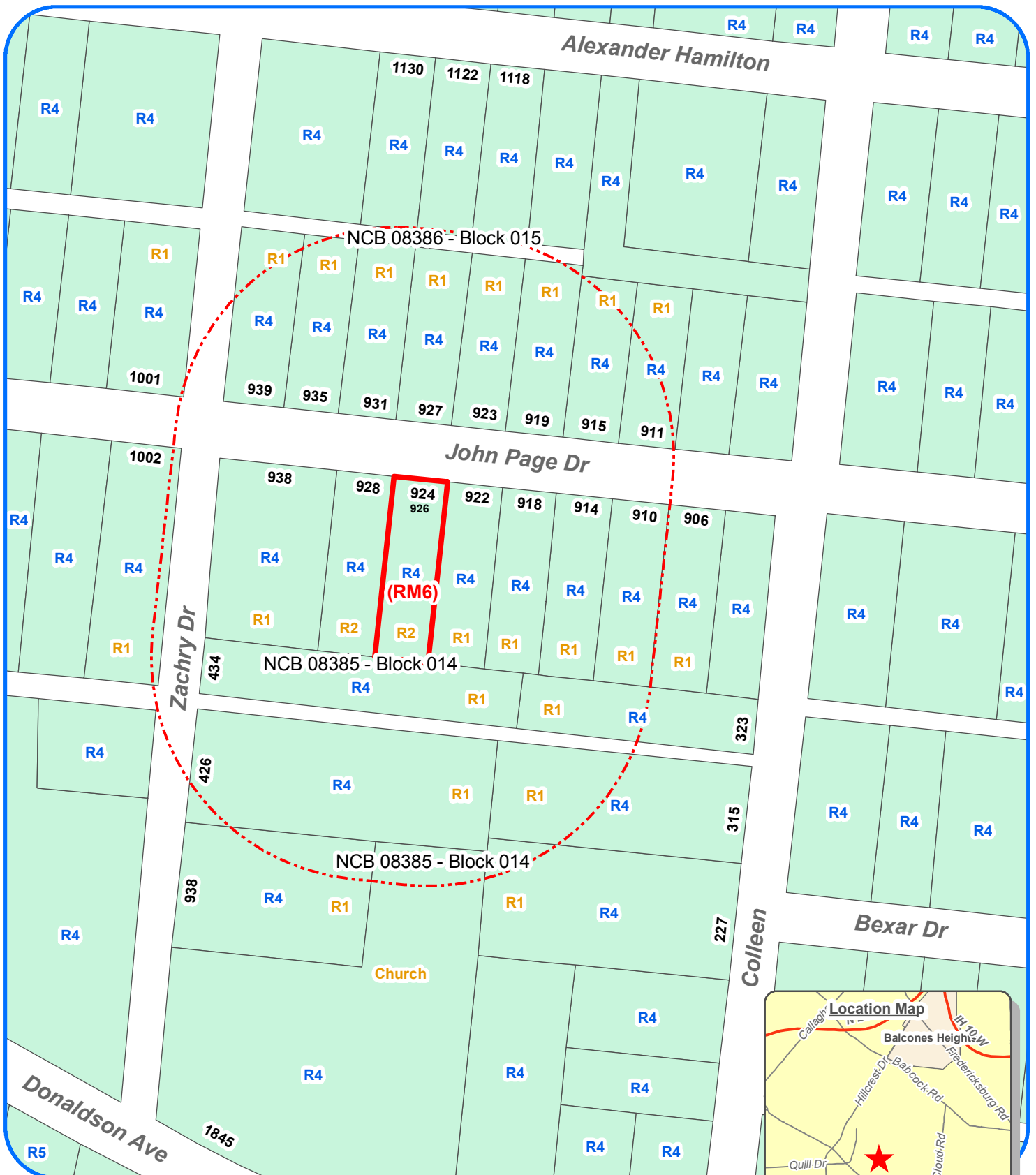
An overall goal of the Eastern Triangle Community Plan includes maintaining a community with “a diverse housing stock that meets the needs of current and future residents through all stages of life.”

6. Size of Tract:

The 7,500 square foot tract of land is of sufficient size to accommodate the requested zoning and use.

7. Other Factors:

None.



Zoning Case Notification Plan

Case Z-2011-085

Council District 7

Scale: 1" approx. = 120 Feet

Subject Property Legal Description(s): NCB 08385 - Block 014 - Lot 4

Legend

Subject Properties (0.1802 Acres)

200' Notification Area

Current Zoning

Requested Zoning Change

100-Year DFIRM Floodplain

Single Family Residential

1R

TEXT

TEXT



Development Services Dept
City of San Antonio
(03/23/2011 - E Hart)

Note: All Current and Requested Zoning includes AHOD Zoning (Airport Hazard Overlay District).



City of San Antonio

Development Services Department

Staff Report

To: Zoning Commission
Zoning Case #: Z2011085
Hearing Date: April 5, 2011
Property Owner: K2 Investments, Inc.
Applicant: Kyle William Cracknell
Representative: Kyle William Cracknell
Location: 924 and 926 John Page Drive
Legal Description: Lot 4, Block 14, NCB 8385
Total Acreage: 0.1802
City Council District: 7
Case Manager: Pedro Vega, Planner
Case History: This is the first public hearing for this zoning request.

Proposed Zoning Change

Current Zoning: "R-4 AHOD" Residential Single Family Airport Hazard Overlay District

Requested Zoning: "RM-6 AHOD" Residential Mixed Airport Hazard Overlay District

Procedural Requirements

The request was publicly noticed in accordance with Section 403 of the Unified Development Code (UDC). Notices were sent to property owners and registered neighborhood associations within two hundred (200) feet of the subject property on March 23, 2011. The application was published in The Daily Commercial Recorder, an official newspaper of general circulation on March 17, 2011. Additionally, notice of this meeting was posted at city hall and on the city's internet website on April 1, 2011, in accordance with Section 551.043(a) of the Texas Government Code.

Notices Mailed

Owners of Property within 200 feet: 28

Neighborhood Associations: None

Planning Team Members: 21 (Near Northwest Community Plan)

Applicable Agencies: None

Adjacent Zoning and Land Uses

Direction	Current Base Zoning	Current Land Uses
North	"R-4 AHOD"	Single-Family Dwellings
South	"R-4 AHOD"	Single-Family Dwellings
East	"R-4 AHOD"	Single-Family Dwellings
West	"R-4 AHOD"	Two-Family Dwellings

Overlay and Special District Information: All surrounding properties carry the "AHOD" Airport Hazard Overlay District, due to their proximity to an airport or approach path. The "AHOD" does not restrict permitted uses, but can require additional review of construction plans by both the Development Services Department and the Federal Aviation Administration. The Airport Hazard Overlay District was added by Ordinance #37324 (1969) and Ordinance #55085 (1982).

Transportation

Thoroughfare	Existing Character	Proposed Changes
John Page Drive	Local Street with one lane in each direction	None

Public Transit: The nearest VIA bus line is the number 509 line which runs along East Cheryl Drive with stops at John Page Drive.

Traffic Impact: A Traffic Impact Analysis (TIA) is not required because traffic generated by the proposed development does not exceed the threshold requirements.

Parking Information: Minimum vehicle spaces 1 per unit. Maximum vehicle spaces 2 per unit.

Staff Analysis and Recommendation: Approval

Topography: The subject property is relatively flat and has no physical characteristics that are likely to affect the use.

Property History: The subject property was annexed in October of 1944 and was originally zoned "B" Residence District. Upon adoption of the 2001 Unified Development Code, the previous base zoning districts converted to the current "R-4 AHOD" Residential Single-Family Airport Hazard Overlay District.

Criteria for Review: According to Section 35-421, zoning amendments shall be based on the approval criteria below.

1. Consistency:

The subject property is located within the Near Northwest Community Plan and is currently designated as "Low Density Residential" in the Future Land Use Plan. Low Density Residential includes single-family houses on individual lots, reflecting the predominant lot size in the area. The community also recognizes the varying densities found in their residential areas. In recognition of this variety, the community would like to see that structures built as multi-family housing continue in this use, even when located in a low-density residential area. The requested "RM-6 AHOD" Residential Mixed Airport Hazard Overlay District is consistent with the Near Northwest Community Plan.

2. Adverse Impacts on Neighboring Lands:

The granting of the zoning request will not have an adverse impact on the neighborhood. Surrounding land uses include mainly single-family dwellings, with a small number of duplexes, guest houses scattered throughout the neighborhood.

3. Suitability as Presently Zoned:

The current residential zoning and proposed residential mixed zoning are both appropriate for the area. The applicant is seeking a zoning change to "RM-6 AHOD" Residential Mixed Airport Hazard Overlay District to bring existing two single-family dwelling into compliance with the UDC.

4. Health, Safety and Welfare:

Staff has found no indication of likely adverse effects on the public health, safety, or welfare.

5. Public Policy:

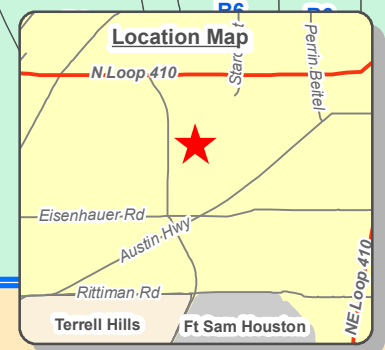
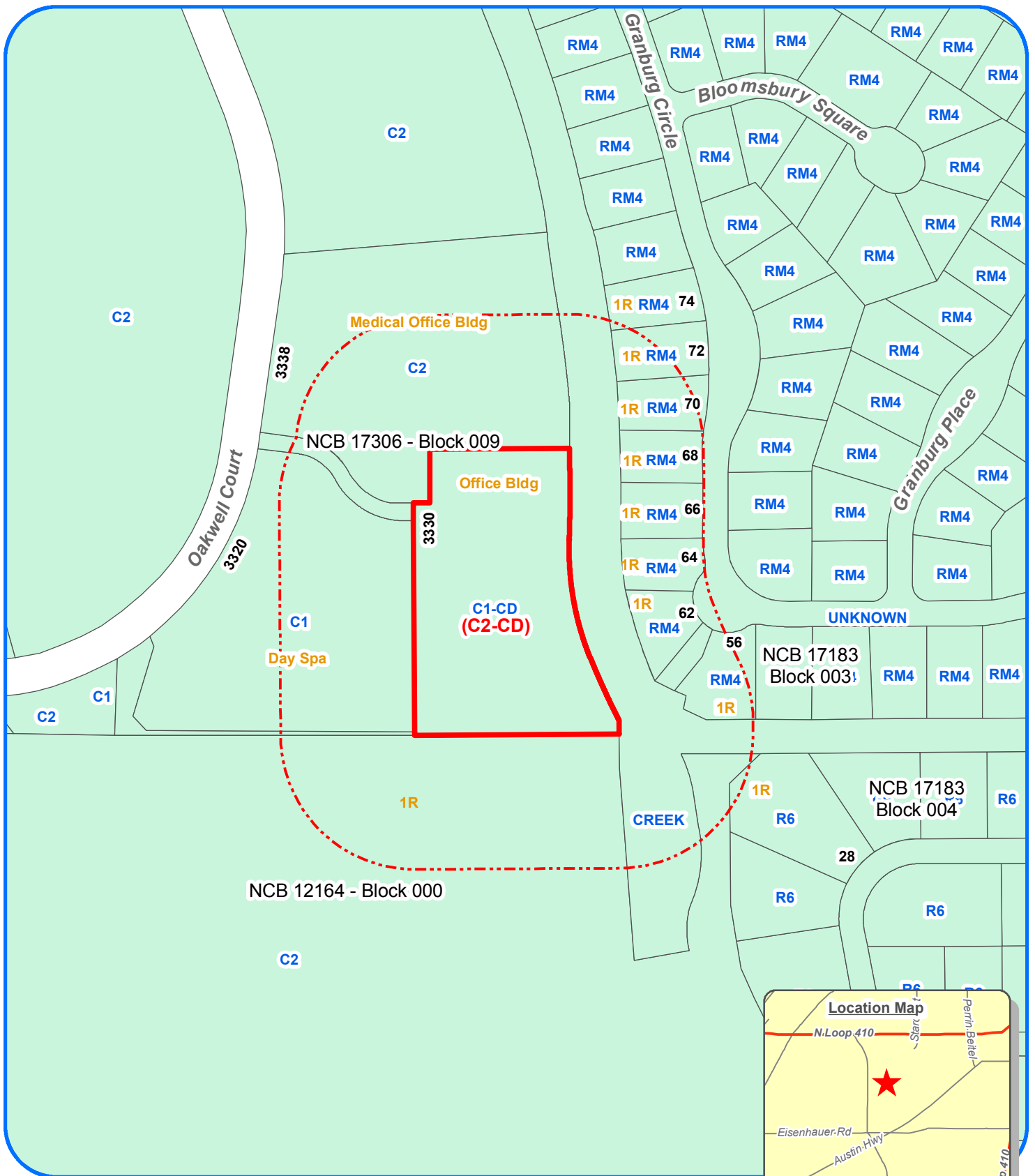
The request does not appear to conflict with any established public policy.

6. Size of Tract:

The subject property is 0.1802 acres in size, which is adequate to accommodate a two-family dwelling. Maximum density requirements may be exceeded subject to following limits: "RM-6" Residential Mixed District = 2 units.

7. Other Factors:

According to the property owner, the structure may have historically been utilized as a two-family dwelling legally. The previous "B" Residence District allowed two-family dwelling uses. However, the use has not been "continuous" as required in the UDC to be considered legally non-conforming.



Zoning Case Notification Plan

Case Z-2011-086 CD

Council District 10

Scale: 1" approx. = 200 Feet

Subject Property Legal Description(s): 2.422 acres out of NCB 17306

Legend

- Subject Properties (2.422 Acres)
- 200' Notification Area
- Current Zoning
- Requested Zoning Change
- 100-Year DFIRM Floodplain
- Single Family Residential

TEXT
(TEXT)

1R



Development Services Dept
City of San Antonio
(03/23/2011 - E Hart)

Note: All Current and Requested Zoning includes AHOD Zoning (Airport Hazard Overlay District).



City of San Antonio

Development Services Department

Staff Report

To: Zoning Commission

Zoning Case #: Z2011086 CD

Hearing Date: April 5, 2011

Property Owner: Veranda Properties, L. P.

Applicant: Quintin Baker

Representative: Brown & Ortiz, P. C. (James Griffin)

Location: 3330 Oakwell Court; Located on the southeast side of Oakwell Court, between Harry Wurzbach to the west and Oakwell Parkway to the north.

Legal Description: 2.422 acres out of NCB 17306

Total Acreage: 2.422

City Council District: 10

Case Manager: Brenda Valadez, Planner

Case History: This is the first public hearing for this zoning request.

Proposed Zoning Change

Current Zoning: "C-1 CD AHOD" Light Commercial Airport Hazard Overlay District with a Conditional Use for a Laboratory - Testing Facility

Requested Zoning: "C-2NA CD AHOD" Commercial Nonalcoholic Sales Airport Hazard Overlay District with a Conditional Use for a Laboratory - Testing Facility

Procedural Requirements

The request was publicly noticed in accordance with Section 403 of the Unified Development Code (UDC). The application was published in The Daily Commercial Recorder, an official newspaper of general circulation on March 18, 2011. Notices were sent to property owners and registered neighborhood associations within two hundred (200) feet of the subject property on March 23, 2011. Additionally, notice of this meeting was posted at city hall and on the city's internet website on April 1, 2011, in accordance with Section 551.043(a) of the Texas Government Code.

Notices Mailed

Owners of Property within 200 feet: 15

Neighborhood Associations: None

Planning Team Members: San Antonio International Airport Vicinity Land Use Plan (54)

Applicable Agencies: None

Adjacent Zoning and Land Uses

Direction	Current Base Zoning	Current Land Uses
North	C-2	Offices
South	C-2	Single-Family Residence
East	RM-4	Single-Family Residences, Lower Salado Creek
West	C-1, C-2	Day Spa, Apartments

Overlay and Special District Information: All surrounding properties carry the “AHOD” Airport Hazard Overlay District, due to their proximity to an airport or approach path. The “AHOD” does not restrict permitted uses, but can require additional review of construction plans by both the Development Services Department and the Federal Aviation Administration.

Transportation

Thoroughfare	Existing Character	Proposed Changes
Oakwell Court	Local Street; 1 lane in each direction	None known.
Harry Wurzbach	Secondary Arterial Type A; 2 lanes in each direction	None known.
Oakwell Farms Parkway	Local Street; 2 lanes in each direction	None known.

Public Transit: VIA bus lines 509 and 647 operate along Harry Wurzbach; with multiple bus stops in close proximity to the subject property.

Traffic Impact: A Traffic Impact Analysis is not required. The traffic generated by the proposed development does not exceed the threshold requirements.

Parking Information: Minimum Parking Requirement: 1 per 1,000 sf GFA
Maximum Parking Requirement: 1 per 200 sf GFA

Staff Analysis and Recommendation: Approval

Topography: The property does not contain any abnormal physical features such as slope. The property is located within the Lower Salado Creekway.

Property History: The subject site is currently developed with a structure measuring 31,700 square feet. According to the Bexar County Appraisal District, the 31,700 square foot structure was constructed in 1984. The property owner intends to expand the office use and construct a 12,000 square foot building addition. The property was annexed in 1952, and was originally zoned “B-1” Business District. Upon adoption of the 2001 Unified Development Code, the previous base zoning district converted to the current “C-1” Light Commercial District. In a 2005 rezoning case (Z2005184 CD), the subject property was rezoned from “C-1” Light Commercial District to “C-1 CD” Light Commercial District with a Conditional Use for a Laboratory – Testing Facility.

Criteria for Review: According to Section 35-421, zoning amendments shall be based on the approval criteria below.

1. Consistency:

The subject property is located within the San Antonio International Airport Vicinity Land Use Plan and is currently designated as “Community Commercial” in the Future Land Use Plan. The zoning request is consistent with the Future Land Use designation.

2. Adverse Impacts on Neighboring Lands:

Changing the zoning from a light commercial zoning designation to medium intensity commercial zoning will not have an adverse impact on any neighboring properties as these are established office and commercial uses; the land use pattern is established. Further, the Lower Salado Creekway to the east will provide a natural buffer between the existing residential uses and the proposed office expansion.

3. Suitability as Presently Zoned:

The existing zoning is not appropriate for the subject property. The office building on the subject property measures 31,700 square feet. A facility of this size is not allowed in the C-1 District, deeming this structure non-conforming. The non-conforming status also does not allow the proposed expansion, as one may not expand a non-conforming use as per Article VII of the UDC. The proposed zoning change is compatible with the current development trends and zoning along Oakwell Court and would allow the office expansion.

4. Health, Safety and Welfare:

Staff has found no indication of likely adverse effects on the public health, safety or welfare.

5. Public Policy:

The request does not appear to conflict with any public policy objective.

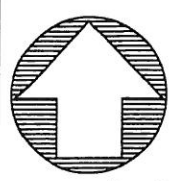
6. Size of Tract:

The subject property is 2.422 acres, which should be able to reasonably accommodate the proposed office expansion with adequate spaces for parking and loading. A site plan demonstrating this fact is provided in this packet.

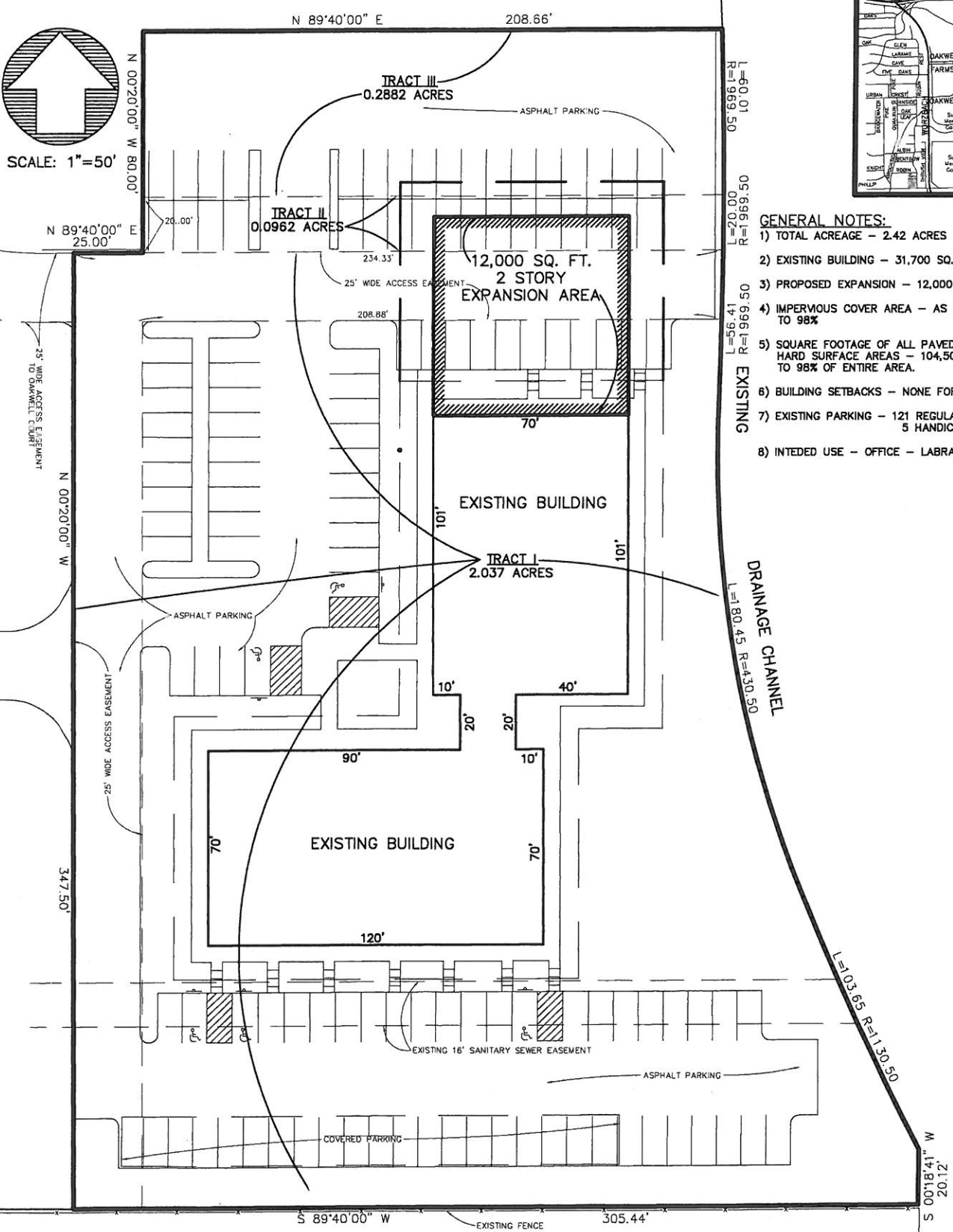
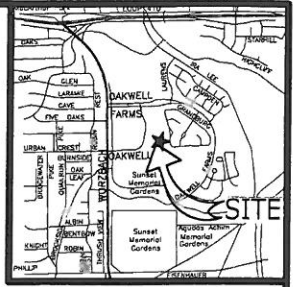
7. Other Factors:

None.

22011088



SCALE: 1"=50'



GENERAL NOTES:

- 1) TOTAL ACREAGE - 2.42 ACRES
- 2) EXISTING BUILDING - 31,700 SQ. FT.
- 3) PROPOSED EXPANSION - 12,000 SQ. FT.
- 4) IMPERVIOUS COVER AREA - AS SHOWN AND UP TO 98%
- 5) SQUARE FOOTAGE OF ALL PAVED OR OTHERWISE HARD SURFACE AREAS - 104,500 SQ. FT. OR UP TO 98% OF ENTIRE AREA.
- 6) BUILDING SETBACKS - NONE FOR ALL FOUR SIDES
- 7) EXISTING PARKING - 121 REGULAR SPACES
5 HANDICAP SPACES
- 8) INTENDED USE - OFFICE - LABORATORY/TESTING

DRAINAGE CHANNEL
L=180.45 R=430.50

"I, Quintin Baker (President, Veranda Properties, LP), THE PROPERTY OWNER, ACKNOWLEDGE THAT THIS SITE PLAN SUBMITTED FOR THE PURPOSE OF REZONING THIS PROPERTY IS IN ACCORDANCE WITH ALL APPLICABLE PROVISIONS OF THE UNIFIED DEVELOPMENT CODE. ADDITIONALLY, I UNDERSTAND THAT CITY COUNCIL APPROVAL OF A SITE PLAN IN CONJUNCTION WITH A REZONING CASE DOES NOT RELIEVE ME FROM ADHERENCE TO ANY/ALL CITY-ADOPTED CODES AT THE TIME OF PLAN SUBMITTAL FOR BUILDING PERMITS.

**SITE PLAN
OF**

BAKER RISK

DATE: 3/3/11 PROJ. #11013



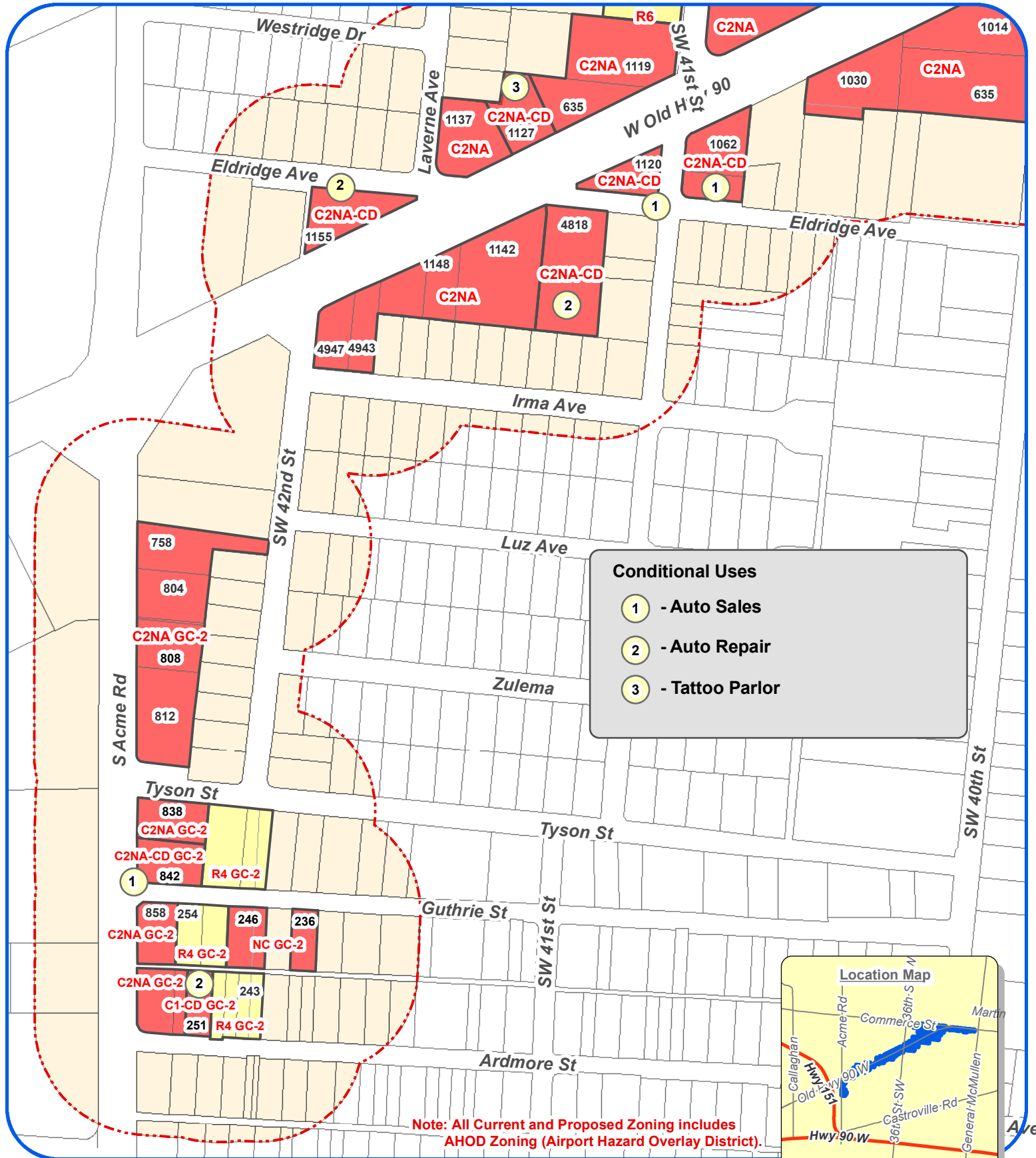
Moy Tarin Ramirez Engineers, LLC

FIRM TBPE NO. F-5297

12770 CIMARRON PATH, SUITE 100
SAN ANTONIO, TEXAS 78249
TEL: (210) 698-5051
FAX: (210) 698-5085

- Engineers
- Surveyors
- Planners

R:\BakerRisk\Drawings\11013_00\Site.dwg



Conditional Uses

- 1 - Auto Sales
- 2 - Auto Repair
- 3 - Tattoo Parlor



Zoning Case Notification Plan - Proposed Zoning


Case Z-2011-088 CD S (Sheet 1 of 7)

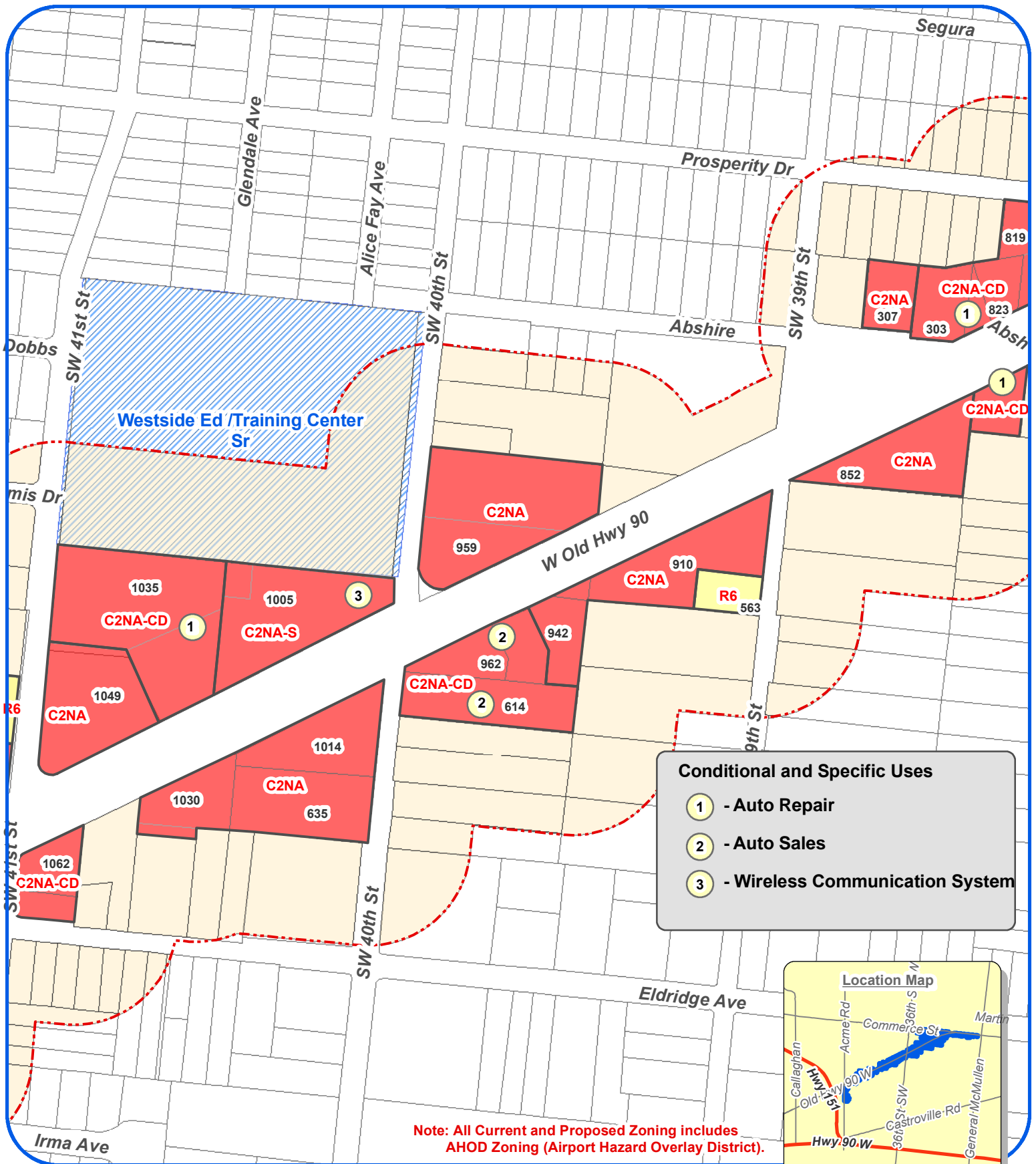
Old Hwy 90 W - Acme Rd S to Gen McMullen

Council District 6
Scale: 1" approx. = 250'

Legend	
Commercial	(197)
Industrial	(0)
Office	(2)
Residential Multi-Family	(1)
Residential Single family	(30)
Subject Properties	(211 Parcels - 90.4 Acres)
200' Notification Buffer	(551 Parcels - 118.5 Acres)
Proposed Zoning	R6

City of San Antonio
Planning and Development Services Dept
(03/10/2011 E Hart)





Zoning Case Notification Plan - Proposed Zoning

Case Z-2011-088 CD S (Sheet 2 of 7)

Old Hwy 90 W - Acme Rd S to Gen McMullen

Council District 6

Scale: 1" approx. = 250'

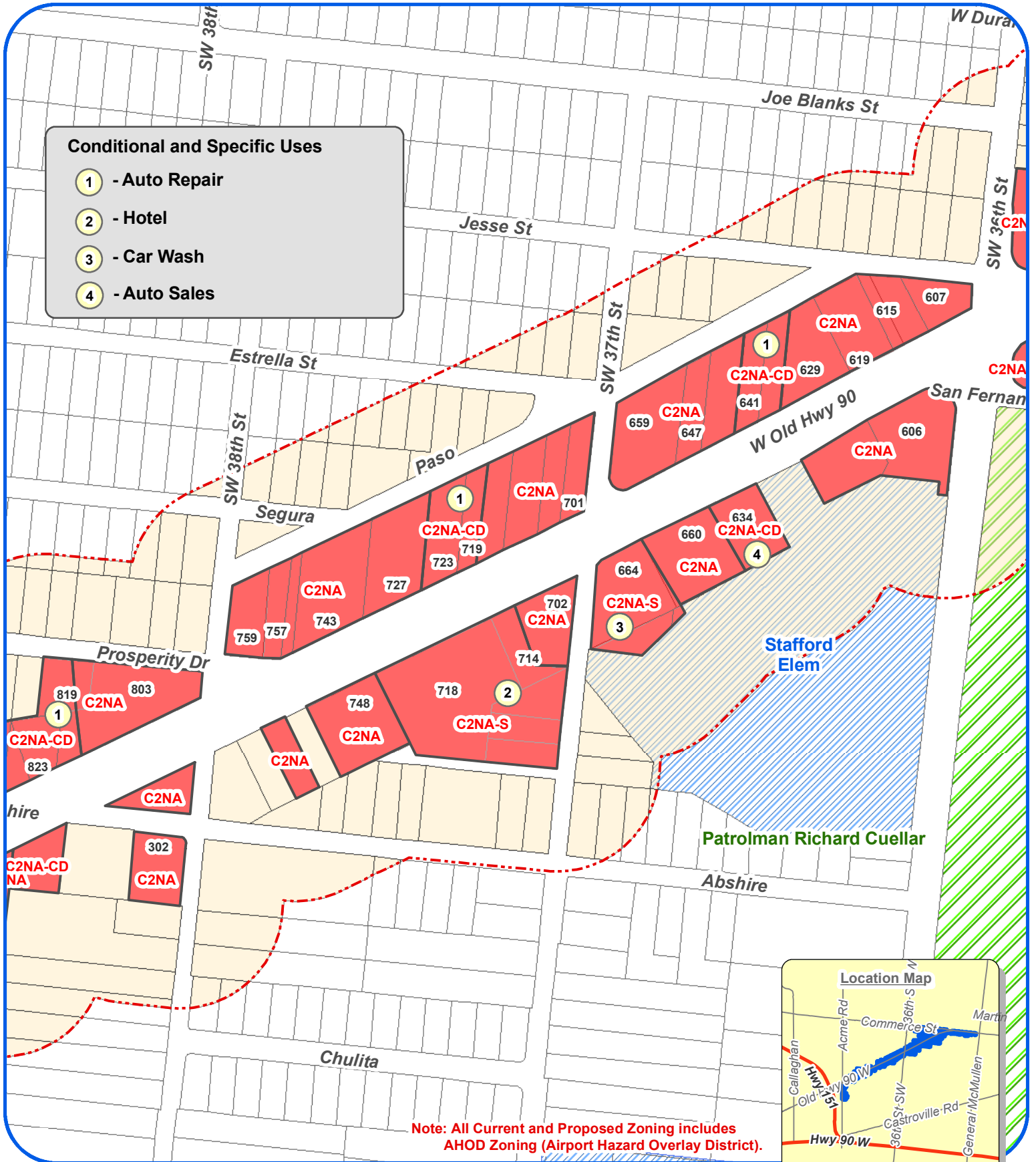
Legend		
Commercial		(197)
Industrial		(0)
Office		(2)
Residential Multi-Family		(1)
Residential Single family		(30)
Subject Properties		(211 Parcels - 90.4 Acres)
200' Notification Buffer		(551 Parcels - 118.5 Acres)
Proposed Zoning	R6	

City of San Antonio
Planning and Development Services Dept
(03/10/2011 E Hart)



Conditional and Specific Uses

- ① - Auto Repair
- ② - Hotel
- ③ - Car Wash
- ④ - Auto Sales



Zoning Case Notification Plan - Proposed Zoning

Case Z-2011-088 CD S (Sheet 3 of 7)

Old Hwy 90 W - Acme Rd S to Gen McMullen

Council District 6

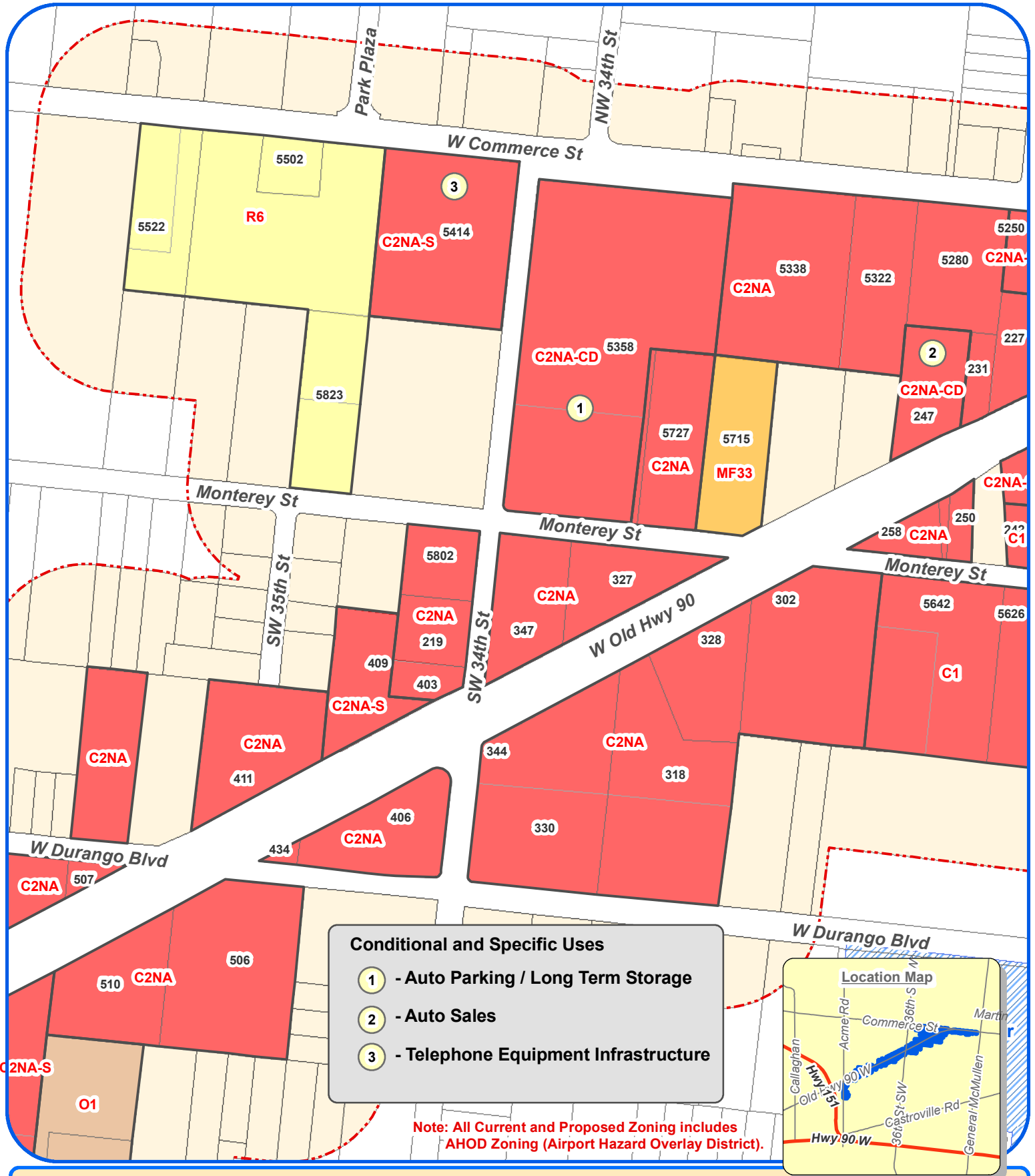
Scale: 1" approx. = 250'

Legend

Commercial	(197)
Industrial	(0)
Office	(2)
Residential Multi-Family	(1)
Residential Single family	(30)
Subject Properties	(211 Parcels - 90.4 Acres)
200' Notification Buffer	(551 Parcels - 118.5 Acres)
Proposed Zoning	R6

City of San Antonio
Planning and Development Services Dept
(03/10/2011 E Hart)





Zoning Case Notification Plan - Proposed Zoning

Case Z-2011-088 CD S (Sheet 5 of 7)

Old Hwy 90 W - Acme Rd S to Gen McMullen

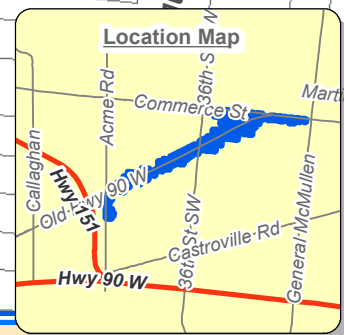
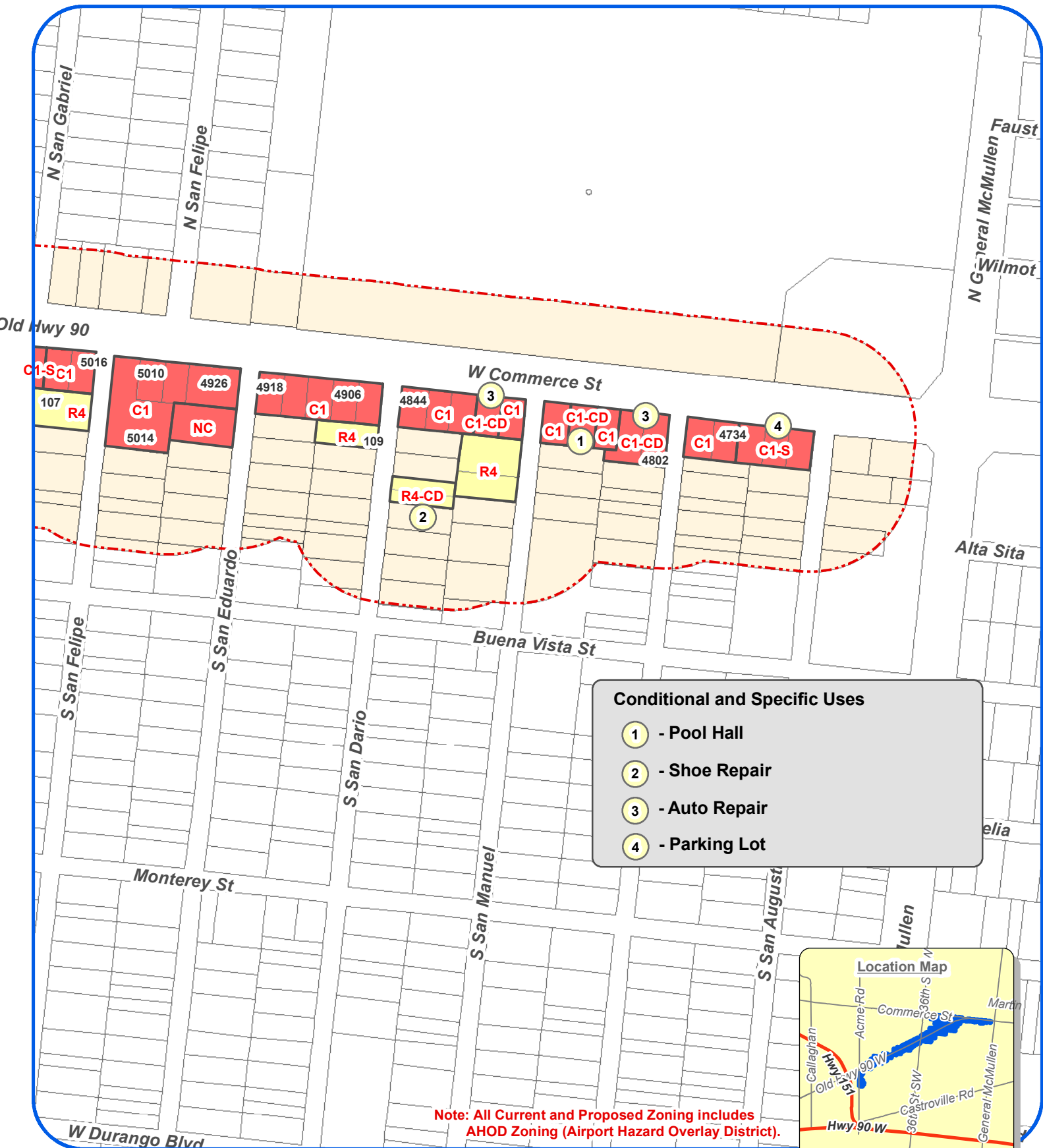
Council District 6

Scale: 1" approx. = 250'

Legend	
Commercial	(197)
Industrial	(0)
Office	(2)
Residential Multi-Family	(1)
Residential Single family	(30)
Subject Properties	(211 Parcels - 90.4 Acres)
200' Notification Buffer	(551 Parcels - 118.5 Acres)
Proposed Zoning	R6

City of San Antonio
Planning and Development Services Dept
(03/10/2011 E Hart)





Zoning Case Notification Plan - Proposed Zoning

Case Z-2011-088 CD S (Sheet 7 of 7)

Old Hwy 90 W - Acme Rd S to Gen McMullen

Council District 6

Scale: 1" approx. = 250'

Legend	
Commercial	(197)
Industrial	(0)
Office	(2)
Residential Multi-Family	(1)
Residential Single family	(30)
Subject Properties	(211 Parcels - 90.4 Acres)
200' Notification Buffer	(551 Parcels - 118.5 Acres)
Proposed Zoning	R6

City of San Antonio
Planning and Development Services Dept
(03/10/2011 E Hart)





City of San Antonio

Development Services Department

Staff Report

To: Zoning Commission

Zoning Case #: Z2011088 CD S

Hearing Date: April 5, 2011

Property Owner: Multiple Property Owners

Applicant: City of San Antonio Development Services Department

Representative: City of San Antonio Development Services Department c/o Brenda Valadez

Legal Description: Multiple properties generally located along Old Highway 90, bound by Acme Road to the west and South San Joaquin to the east; properties located along the south side of West Commerce Street, bound by NW 36th Street to the west and South San Augustine to the east; properties located on the east side of Acme Road, bound by Old Highway 90 to the north and Ardmore Street to the south.

Total Acreage: 90.4

City Council District: 6

Case Manager: Brenda Valadez, Planner

Case History: This is the first public hearing for this zoning request.

Proposed Zoning Change

Current Zoning: "I-1 AHOD" General Industrial Airport Hazard Overlay District, "C-3 R AHOD" General Commercial Restrictive Alcohol Sales Airport Hazard Overlay District, "C-3 R GC-2 AHOD" General Commercial Restrictive Alcohol Sales Highway 151 Gateway Corridor Overlay Airport Hazard Overlay District, "C-3NA AHOD" General Commercial Nonalcoholic Sales Airport Hazard Overlay District, "C-3 R S AHOD" General Commercial Restrictive Alcohol Sales Airport Hazard Overlay District with a Specific Use Authorization for a Communications Transmission Tower, "C-2 AHOD" Commercial Airport Hazard Overlay District, "O-2 CD AHOD" High-Rise Office Airport Hazard Overlay District with a Conditional use for a Shoe Repair Shop, "MF-33 AHOD" Multi-Family Airport Hazard Overlay District, "R-6 AHOD" Residential Single-Family Airport Hazard Overlay District, "R-4 AHOD" Residential Single-Family Airport Hazard Overlay District and "R-4 GC-2 AHOD" Residential Single-Family Highway 151 Gateway Corridor Overlay Airport Hazard Overlay District

Requested Zoning: "C-2NA AHOD" Commercial Nonalcoholic Sales Airport Hazard Overlay District, "C-2NA GC-2 AHOD" Commercial Nonalcoholic Sales Highway 151 Gateway Corridor Overlay District, "C-2NA S AHOD" Commercial Nonalcoholic Sales Airport Hazard Overlay District with a Specific Use Authorization for Housing - Hotel, "C-2NA CD AHOD" Commercial Nonalcoholic Sales Airport Hazard Overlay District with a Conditional Use for Auto and Light Truck Repair, "C-2NA CD AHOD" Commercial Nonalcoholic Sales Airport Hazard Overlay District with a Conditional Use for Motor Vehicle Sales, "C-2NA CD GC-2 AHOD" Commercial Nonalcoholic Sales Highway 151 Gateway Corridor Overlay Airport Hazard Overlay District with a Conditional Use for Motor Vehicle Sales, "C-2 NA CD AHOD" Commercial Nonalcoholic Sales Airport Hazard Overlay District with a Conditional Use for a Pawn Shop, "C-2NA CD AHOD" Commercial Nonalcoholic Sales Airport Hazard Overlay District with a Conditional Use for Parking and/or Storage - Long Term, "C-2NA CD AHOD" Commercial Nonalcoholic Sales Airport Hazard Overlay District with a Conditional Use for a Tattoo Parlor, "C-2NA S AHOD" Commercial Nonalcoholic Sales Airport Hazard Overlay District with a Specific Use Authorization for a Wireless Communication System, "C-2NA S AHOD" Commercial Nonalcoholic Sales Airport Hazard Overlay District with a Specific Use Authorization for a Car Wash, "C-2NA S AHOD" Commercial Nonalcoholic Sales Airport Hazard Overlay District

with a Specific Use Authorization for Telephone Equipment Infrastructure, "C-1 AHOD" Light Commercial Airport Hazard Overlay District, "C-1 CD AHOD" Light Commercial Airport Hazard Overlay District with a Conditional Use for Auto and Light Truck Repair, "C-1 CD GC-2 AHOD" Light Commercial Highway 151 Gateway Corridor Overlay Airport Hazard Overlay District with a Conditional Use for Auto and Light Truck Repair, "C-1 CD AHOD" Light Commercial Airport Hazard Overlay District with a Conditional Use for a Billiard or Pool Hall, "C-1 S AHOD" Light Commercial Airport Hazard Overlay District with a Specific Use Authorization for Parking, "NC AHOD" Neighborhood Commercial Airport Hazard Overlay District, "O-1 AHOD" Office Airport Hazard Overlay District, "MF-33 AHOD" Multi-Family Airport Hazard Overlay District, "R-6 AHOD" Residential Single-Family Airport Hazard Overlay District, "R-4 CD AHOD" Residential Single-Family Airport Hazard Overlay District with a Conditional Use for Shoe - Repair, "R-4 GC-2 AHOD" Residential Single-Family Highway 151 Gateway Corridor Overlay Airport Hazard Overlay District and "R-4 AHOD" Residential Single-Family Airport Hazard Overlay District

Procedural Requirements

The request was publicly noticed in accordance with Section 403 of the Unified Development Code (UDC). The application was published in The Daily Commercial Recorder, an official newspaper of general circulation on March 18, 2011. Notices were sent to property owners and registered neighborhood associations within two hundred (200) feet of the subject property on March 23, 2011. Additionally, notice of this meeting was posted at city hall and on the city's internet website on April 1, 2011, in accordance with Section 551.043(a) of the Texas Government Code.

Notices Mailed

Subject Property Owners : 148

Owners of Property within 200 feet: 452

Neighborhood Associations: Community Workers Council, Los Jardines Neighborhood Association and Memorial Heights Neighborhood Association.

Planning Team Members: None

Applicable Agencies: None

Adjacent Zoning and Land Uses

Direction	Current Base Zoning	Current Land Uses
North	R-4, R-5, R-6, C-1, C-2 and C-3	Single-Family Residences, Commercial Uses
South	R-4, R-5, R-6, MF-33, and C-1	Single-Family Residences, Commercial Uses, Vacant Land, Apartments
East	R-4, C-2, C-3, and I-1	Single-Family Residences, Commercial Uses
West	C-2, C-3 and I-1	Vacant Land, Commercial Uses

Overlay and Special District Information: All surrounding properties carry the "AHOD" Airport Hazard Overlay District, due to their proximity to an airport or approach path. The "AHOD" does not restrict permitted uses, but can require additional review of construction plans by both the Development Services Department and the Federal Aviation Administration.

Transportation

Thoroughfare	Existing Character	Proposed Changes
Old Highway 90	Secondary Arterial Type A; 2 lanes in each direction	None known.
South Acme Road	Secondary Arterial Type B; 2 lanes in each direction	None known.
West Commerce Street	Secondary Arterial Type A; 2 lanes in each direction	None known.
North General McMullen	Primary Arterial Type A; 3 lanes in each direction	None known.

Public Transit: VIA bus lines 75, 76 and 524 operate along Old Highway 90, West Commerce Street and South Acme Road; with multiple bus stops in close proximity.

Traffic Impact: A Traffic Impact Analysis is not required.

Parking Information: N/A

Staff Analysis and Recommendation: Approval

Topography: The area does not contain any abnormal physical features such as slope. However, the subject area appears to be within the Upper San Antonio River Watershed and the Lower Leon Creek Watershed.

Property History: The subject area consists of 211 properties that are generally located to the north and south of Old Highway 90 and to the east of South Acme Road and south of West Commerce Street per the exhibit maps. A majority of the corridor was previously zoned "B-3" Business District under the 1965 zoning ordinance. Upon adoption of the 2001 UDC, the 1965 zoning districts were converted to the current zoning districts. The "B-3" Business zoning district converted to "C-3" General Commercial District.

Criteria for Review: According to Section 35-421, zoning amendments shall be based on the approval criteria below.

1. Consistency:

The subject property is not located within a Neighborhood, Community or Sector Plan area.

2. Adverse Impacts on Neighboring Lands:

Over time, the current zoning pattern has led to commercial encroachment into the residential neighborhoods adjacent to the Old Highway 90 corridor. Additionally, the surrounding residential neighborhoods are not protected or buffered by development standards that would be required of new commercial development since the previous B-3 zoning districts have been in place for a number of decades. The rezoning of properties along Old Highway 90, the east side of South Acme Road and along the south side of West Commerce Street to zoning districts more appropriate for the existing adjacent uses would protect the integrity and long term viability of the interior residential neighborhoods, while still promoting the thriving commercial nature of the area.

3. Suitability as Presently Zoned:

The current zoning has allowed intense commercial development that is not compatible with the surrounding residential uses, and which does not conform to the development standards required by the Unified Development Code. Staff supports the rezoning request being that the multiple zoning districts proposed are consistent with the area. Additionally, this request would constitute a down-zoning for most parcels from "C-3" General Commercial zoning districts. Heavy commercial uses are not appropriate adjacent to residential neighborhoods. Though many of these properties are zoned for heavy commercial uses, they are utilized predominantly for residential and medium intensity commercial purposes. Further, this area is predominately characterized by single-family residences in the interior of the neighborhood (generally not having frontage

on any major arterial road). The periphery of the neighborhood (properties with frontage on Old Highway 90) are a combination of residential and commercial land uses, with the majority of commercial uses fronting on Old Highway 90.

4. Health, Safety and Welfare:

Staff, at the City Council office's request, is recommending the "NA" Nonalcoholic Sales designations for some properties as identified in the attached maps. This recommendation will limit the number of establishments that sell alcohol adjacent to the neighborhood. Staff believes that the proposed rezoning would serve to maintain the integrity of the neighborhood while balancing the needs and future potential of the properties along the periphery of the neighborhood.

5. Public Policy:

This case is in direct alignment with public policy objectives. The rezoning request, which was initiated by the City of San Antonio via Resolution number 2010-08-19-0042R, is to rezone properties generally located along the Old Highway 90 corridor to zoning districts compatible with the existing land use. Per direction from City Council, the Development Services Department has conducted a study of these properties and is recommending a rezoning proposal that would be compatible with the current uses while attempting to provide consistency with current and proposed adjacent zoning districts.

6. Size of Tract:

The Old Highway 90 Comprehensive rezoning consists of 90.4 acres of land.

7. Other Factors:

Staff invited all property owners to a Community Open House on January 19, 2011 at Stafford Elementary School. The proposed rezoning map was presented to the attendees, along with general information about the rezoning process. Staff also presented the rezoning proposal to the Los Jardines Neighborhood Association on February 16, 2011.



CITY OF SAN ANTONIO
OFFICE OF THE CITY COUNCIL
COUNCIL CONSIDERATION REQUEST

RECEIVED
CITY OF SAN ANTONIO
CITY CLERK

2010 JUN -4 PM 2:19

TO: Mayor & City Council

FROM: City Councilman Ray Lopez

COPIES TO: Sheryl Sculley, City Manager; Leticia Vacek, City Clerk; Catherine Hernandez, Interim Executive Assistant to the City Manager; Chris Callanen, Assistant to the City Council; Michael Bernard, City Attorney; Ramiro Gonzales, Senior Management Analyst

SUBJECT: Zoning Analysis and Plan

DATE: May 11, 2010

Issue Proposed for Consideration

I ask for your support for the inclusion of the following item on the agenda of the earliest available meeting of the City Council:

I respectfully request that the Planning and Development Services Department analyze the existing zoning of properties along the following corridor: Old Highway 90 between Acme Road and General McMullen Street; and prepare an appropriate rezoning plan, and bring a rezoning case forward to the Zoning Commission for their recommendation and City Council for final action.

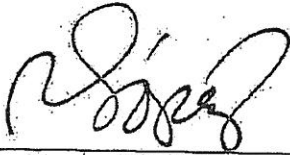
Brief Background

A large number of properties along this corridor are zoned primarily heavy commercial, while many of the properties along the intersecting local streets within the adjoining neighborhoods are zoned residential. Heavy commercial zoning is typically deemed to be appropriate at the intersections of major arterial roads, but heavy commercial zoning is found on the majority of the properties fronting Old Highway 90. This request is made to protect the integrity and stability of the interior residential neighborhoods, and to implement appropriate zoning to the existing properties along Old Highway 90.

One or more community meetings may be held to educate the affected property owners on the zoning classification system, the zoning process, and how it relates to their property.

Your favorable consideration is requested.

Submitted for Council consideration
by:


Councilman Ray Lopez, District 6

Supporting Councilmembers' Signatures (4 only)

District No.

1.	<u>David S. Medina Jr.</u>	<u>5</u>
2.	<u>Ernie James</u>	<u>3</u>
3.	<u>[Signature]</u>	<u>4</u>
4.	<u>[Signature]</u>	<u>7</u>

RECEIVED
CITY CLERK
CITY OF SAN ANTONIO
2010 JUN -4 PM 2:19

A RESOLUTION **2010-08-19-0042R**

DIRECTING PLANNING AND DEVELOPMENT SERVICES STAFF TO INITIATE A CHANGE IN THE ZONING DISTRICT BOUNDARY OF PROPERTY DESCRIBED AS COMPRISING APPROXIMATELY 108.5 ACRES OF LAND LOCATED ALONG OLD HIGHWAY 90 WEST BOUND BY ACME ROAD TO THE WEST AND SAN JOAQUIN TO THE EAST AS WELL AS PROPERTIES LOCATED ALONG THE SOUTH SIDE OF WEST COMMERCE STREET BOUND BY SAN JOAQUIN TO THE WEST AND SOUTH GENERAL MCMULLEN TO THE EAST TO ZONING DISTRICTS COMPATIBLE WITH THE SURROUNDING AREA.

* * * * *

WHEREAS, pursuant to Article IV, Section 35-421 (b) of the San Antonio Unified Development Code, Ray Lopez, District 6 is requesting concurrence from City Council for a Resolution to initiate a change in the zoning district boundary of property located along Old Highway 90 West bound by Acme Road to the west and San Joaquin to the east as well as properties located along the south side of West Commerce street bound by San Joaquin to the west and South General McMullen to the east to zoning districts compatible with the surrounding area; and

WHEREAS City Council desires to initiate a change in the zoning district boundary of properties which are inconsistent to appropriate zoning districts compatible with the surrounding area in accordance with Chapter 211 of the Texas Local Government Code and Article III of the San Antonio Unified Development Code; **NOW THEREFORE**;

BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF SAN ANTONIO:

Section 1. This resolution directs the Planning & Development Services Department to initiate a change in the zoning district boundary of property located along Old Highway 90 West bound by Acme Road to the west and San Joaquin to the east as well as properties located along the south side of West Commerce street bound by San Joaquin to the west and South General McMullen to the east to zoning districts compatible with the surrounding area.

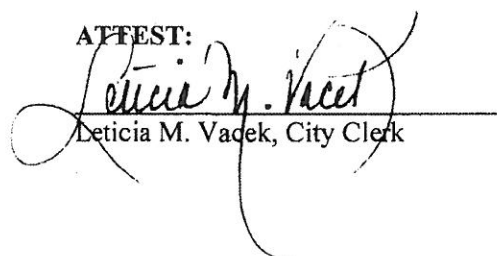
SG/cia
08/19/2010
35

Section 2. This resolution shall be effective on August 29, 2010.

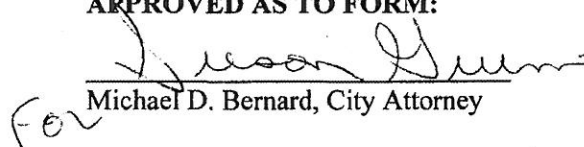
PASSED AND APPROVED this 19th day of August, 2010.


M A Y O R
Julián Castro

ATTEST:


Leticia M. Vadek, City Clerk

APPROVED AS TO FORM:


For Michael D. Bernard, City Attorney